

# Agenda Planning Committee

**Wednesday 10 May 2023 at 5.00 pm  
in the Council Chamber - Sandwell Council House, Oldbury**

**1 Apologies for Absence**

To receive an apologies for absence.

**2 Declarations of Interest**

Members to declare any interests in matters to be discussed at the meeting.

**3 Minutes**

9 - 14

To confirm the minutes of the meeting held on 22 March 2023 as a correct record.

**4 Planning Application - DC/22/66968 - The Wheatsheaf, 1 Turners Hill, Rowley Regis, B65 9DP**

15 - 34

Proposed demolition of existing pub and construction of 3 storey detached building consisting 20 No. self contained apartments with parking to rear.



- |   |  |           |
|---|--|-----------|
| 5 | <b>Planning Application - DC/22/67752 - 234<br/>Oldbury Road, Rowley Regis, B65 0QG</b>  | 35 - 48   |
|   | Proposed demolition of existing building and installation of 17 No. storage containers for 24hr self storage use with dropped kerb and vehicle access.   |           |
| 6 | <b>Planning Application - DC/22/67785 - Sandwell<br/>MBC Public Car Park, Lower High Street</b>  | 49 - 80   |
|   | Proposed 3 storey community skills hub building with 2 No. detached outbuildings for storage, substation, plant room, new vehicular access and gates to front, car parking, cycle storage, enclosed skip/refuse bays, boundary fencing, landscaping and associated works.  |           |
| 7 | <b>Planning Application - DC/23/67838 - Forge Mill<br/>Farm, Forge Lane, West Bromwich, B71 3SZ</b>  | 81 - 102  |
|   | Proposed Phase 1 - Conversion and change of use of existing barn 1 into cafeteria and natural play area, proposed single storey building containing support facilities (toilets, kitchen, lobby and draft lobby, classroom, stores and plantroom). Phase 2 - Proposed single storey education block containing 2 no. (30/40 students) classrooms and cloakroom area. |           |
| 8 | <b>Planning Application - DC/23/67858 - 7<br/>Lochranza Croft, Great Barr, Birmingham, B43<br/>7AA</b>   | 103 - 118 |
|   | Proposed single and two storey side and rear extension.  |           |

- 9 **Planning Application - DC/23/67863 - Land West Of Bridge Street, North Smethwick, B66 2BJ** 119 - 138

Proposed change of use from general industrial to treatment, remediation and recovery facility for contaminated soils, construction, demolition and excavation of waste with 1 No. soil treatment shed and 4 No. office/meeting rooms, 1 No. mess drying room, toilet block, store, weighbridge unit, picking station, decontamination unit, clean material area and 2 No. holding tanks and covered post treatment areas, oversized processing area, parking and the creation of a new vehicular access - Temporary planning permission for 5 years.

- 10 **Planning Application - DC/23/67957 - Beech Croft Residential Home, Salop Drive, Oldbury, B68 9AG** 139 - 158

Proposed replacement sections, refurbishment and associated works in connection with the existing care home (Use Class C2) to include: external alterations, two storey front/side extension with photovoltaic solar panels on roof and glazed canopy over main entrance, single storey extension overlooking courtyard garden area, two storey enclosed staircase to rear, outbuildings to include Occupational Therapy cabin, maintenance shed and bin store, installation of EV charging points to car park, boundary wall/fencing and landscaping.

- 11 **Planning Application - DC/23/67982 - 30 Horseley Heath, Tipton, DY4 7PA** 159 - 170

Amendment to the rear elevations of previously approved application DC/20/64342 and first floor juliet balcony.

- 12 **Planning Application - DC/23/67996 - 48 Parsons Hill, Oldbury, B68 9BS** 171 - 180

Proposed single and two storey side and rear extension.

13	<b>Planning Application - DC/23/68006 - The GAP Centre, Hargate Lane, West Bromwich, B71 1PH</b>	181 - 196
	Proposed single storey front and rear extensions, first floor extension, external alterations, change of use to recreational use (Class F2(c) and associated parking.	
14	<b>Planning Application - DC/23/68061 - Christian Youth And Community Service, The GAP Centre, Hargate Lane, West Bromwich, B71 1PH</b>	197 - 206
	Proposed access ramp and new entrance to side.	
15	<b>Committee Site Visits</b>	207 - 212
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**Shokat Lal**  
**Chief Executive**  
Sandwell Council House  
Freeth Street  
Oldbury  
West Midlands

**Distribution**

Councillor Millar (Chair)  
Councillors Kaur, Akhtar, Allcock, Allen, Chapman, Dhallu, Fenton, Fisher,  
S Gill, A Hussain, O Jones, Mabena, Preece, N Singh and J Webb

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## Minutes of Planning Committee

**Wednesday 22 March 2023 at 5.00pm  
in the Council Chamber, Sandwell Council House, Oldbury**

**Present:** Councillor Millar (Chair);  
Councillors Allcock, Allen, Chapman, S S Gill, Hussain,  
Kaur, Preece, N Singh, Webb and Williams

**In attendance:** Councillor Fisher

**Officers:** John Baker (Service Manager - Development Planning and Building Consultancy); Simon Chadwick (Highway Network Development and Road Safety Manager); William Stevens (Principal Planning Officer); Andy Thorpe (Urban Development Officer) Rory Stracey (Solicitor); Imogen Anderson (Assistant Solicitor); Alex Goddard (Democratic Services Officer); Connor Robinson (Democratic Services Officer) and Anthony Lloyd (Democratic Services Officer).

### 21/23 **Apologies for Absence**

Apologies were received from Councillors Dhallu and Fenton.

### 22/23 **Declarations of Interest**

There were no declarations of interest made.

### 23/23 **Minutes**

**Resolved** that the minutes of the meeting held on 16 February 2023 are approved as a correct record.

24/23

**Planning Application DC/22/67785 - Proposed 3 storey community skills hub building with 2 No. detached outbuildings for storage, substation, plant room, new vehicular access and gates to front, car parking, cycle storage, enclosed skip/refuse bays, boundary fencing, landscaping and associated works - Sandwell MBC, Public Car Park, Lower High Street, Cradley Heath**

In a change to the Committee agenda it was stated that the Planning Application DC/22/67785 would be deferred until a future meeting in order to ascertain further supporting documentation.

**Resolved** that Planning Application DC/22/67785 (Proposed 3 storey community skills hub building with 2 No. detached outbuildings for storage, substation, plant room, new vehicular access and gates to front, car parking, cycle storage, enclosed skip/refuse bays, boundary fencing, landscaping and associated works - Sandwell MBC, Public Car Park, Lower High Street, Cradley Heath) be deferred to a future meeting.

25/23

**Planning Application DC/23/67838 - Proposed Phase 1 - Conversion and change of use of existing barn 1 into cafeteria and natural play area, proposed single storey building containing support facilities (toilets, kitchen, lobby and draft lobby, classroom, stores and plantroom). Phase 2 - Proposed single storey education block containing 2 no. (30/40 students) classrooms and cloakroom area - Forge Mill Farm, Forge Lane, West Bromwich, B71 3SZ**

In a change to the Committee agenda it was stated that the Planning Application DC/23/67838 would be deferred until a future meeting in order to ascertain further supporting documentation.

**Resolved** that Planning Application DC/23/67838 (Proposed Phase 1 - Conversion and change of use of existing barn 1 into cafeteria and natural play area, proposed single storey building containing support facilities ((toilets, kitchen, lobby and draft lobby, classroom, stores and plantroom)). Phase 2 - Proposed single storey education block containing 2

no. ((30/40 students)) classrooms and cloakroom area  
- Forge Mill Farm, Forge Lane, West Bromwich, B71  
3SZ) be deferred to a future meeting.

26/23

**Planning Application DC/23/67858 - Proposed single and two storey side and rear extension - 7 Lochranza Croft, Great Barr, Birmingham B43 7AA.**

The Service Manager for Development Planning and Building Consultancy informed the Committee that further objections had been received since the application was published which reiterated many of the concerns already raised such as loss of light, parking and construction details.

There were a number of objector's present and they addressed the Committee with the following points:

- The size and scale of the proposed development was not in keeping with the surrounding housing design and size;
- No other property in the area would be of comparable size if the application was approved;
- The development would require major engineering works and have an adverse impact on local residents;
- It would be the only two-story extension in the area and residents had previously been told that such extensions were not acceptable;
- The development would impact on the neighbouring residents and property in terms of light, outlook and amenity;
- The plans going against the design guide in certain aspects;
- The proposals would impact the party wall considerably and impact access to the rear of neighbouring properties;
- A number of neighbouring properties had not been notified of the proposals.

The Service Manager for Development Planning and Building Consultancy reminded members that non-material planning concerns were not a matter for the Committee, issues around construction were a matter for Building Regulations.

The applicant was present and addressed the Committee. The applicant stated that all regulations had been followed and that any alterations which were required had been made.

After further discussions, it was agreed that a site visit be undertaken to better understand the issues raised.

**Resolved** that planning application DC/23/67858 (Proposed single and two storey side and rear extension - 7 Lochranza Croft, Great Barr, Birmingham B43 7AA) be deferred to allow a site visit.

27/23 **Planning Application DC/22/67752 - Proposed demolition of existing building and installation of 19 No. storage containers for 24hr self storage use with dropped kerb and vehicle access - 234 Oldbury Road, Rowley Regis B65 0QG.**

The Service Manager for Development Planning and Building Consultancy informed the Committee that the application had previously requested 19 storage containers. This had been reduced to 17 to make way for a turning point for incoming and outgoing vehicles.

Objectors were present and addressed the Committee. It was claimed that, if the application were to be approved, traffic problems would occur from both the adjacent petrol station and for vehicles entering and exiting the site, especially when considering the nearby bus stop. Objectors also raised concerns around fencing that had been erected which was preventing residents from reaching the shared gully-way to the rear of their properties. Members were reminded that any issues relating to the land encroachment was a civil matter between those affected.

The Applicant's agent, who was due to attend the meeting, had fallen ill and therefore could not attend.

The Service Manager for Development Planning and Building Consultancy relayed the following statements on behalf of the Applicant's Agent to the Committee:-

- The development utilises a plot of land currently not in use.
- Hours would be restricted to 8am-6pm and 10am-4pm on Sundays.
- No machinery, activities or livestock would be present on the site
- The storage facility would cater mainly to household items, especially for those moving homes.
- Adequate vehicle access was available to users

Members were unsure that the proposed plans would be adequate in preventing difficulties with vehicles entering and exiting the site, especially when one vehicle was off-loading. Officers from the Highways department confirmed that this type of storage facility in particular received low traffic and was very rarely used. The removal of the two storage containers, as previously discussed, meant that traffic problems on the site would not be severe.

It was agreed that the item be deferred to allow the applicant's agent to be present.

**Resolved** that planning Application DC/22/67752 (Proposed demolition of existing building and installation of 19 No. storage containers for 24hr self storage use with dropped kerb and vehicle access - 234 Oldbury Road, Rowley Regis B65 0QG) be deferred to a future meeting.

## 28/22 **Committee Site Visits**

The Committee noted the scheduled site visits.

## 29/22 **Decisions of the Planning Inspectorate**

The Committee noted the Decisions of the Planning Inspectorate.

## 30/22 **Applications Determined Under Delegated Powers**

The Committee noted the Applications Determined Under Delegated Powers.

Meeting ended at 6.11pm

Contact: [democratic\\_services@sandwell.gov.uk](mailto:democratic_services@sandwell.gov.uk)

## Report to Planning Committee

**10 May 2023**

<b>Application Reference</b>	DC/22/66968
<b>Application Received</b>	22 April 2022
<b>Application Description</b>	Proposed demolition of existing pub and construction of 3 storey detached building consisting 20 No. self-contained apartments with parking to rear.
<b>Application Address</b>	The Wheatsheaf 1 Turners Hill Rowley Regis B65 9DP
<b>Applicant</b>	Jugraaj Singh
<b>Ward</b>	Tividale
<b>Contact Officer</b>	Alison Bishop Alison_bishop@sandwell.gov.uk

### 1 Recommendations

1.1 That subject to the application being reported to Full Council, and a s106 agreement to secure compliance with affordable housing, that planning permission is granted subject to conditions relating to:

- i) External materials;
- ii) Landscaping details;
- iii) Boundary treatments;
- iv) Ground investigation and remediation;





- v) Electric vehicle charge points;
- vi) Low NOx boilers;
- vii) Parking laid out and retained;
- viii) Vehicular cross over removed and footpath re-instated.
- ix) Noise assessment recommendations in relation to sound insulation, balconies and fixed plant;
- x) Construction management plan (to include noise, vibration and dust suppression measures etc);
- xi) Construction hours limited to 08:00 – 17:30 Monday to Friday, 08:00 – 13:00 Saturday and no working on Sunday and Public Holidays.
- xii) Waste management/refuse plan;
- xiii) Renewable energy details;
- xiv) Details of sustainable drainage system (surface water) and disposal foul;
- xv) Details of security measures to include CCTV, Lighting, access entrance points;
- xvi) Jobs and skills plan; and

## 2 Reasons for Recommendations

- 2.1 The development will not harm the openness of the Rowley Hills, provides a good quality scheme that would deliver much needed homes within the borough and raises no amenity issues.

## 3 How does this deliver objectives of the Corporate Plan?

	Quality homes in thriving neighbourhoods – the proposal provides a mix of flats which meet local need
	A strong and inclusive economy – during the construction process there will be an opportunity for apprenticeships

## 4 Context

- 4.1 The application is being reported to your Planning Committee because the proposal is a departure from the development plan and a s106





agreement is required to secure affordable housing. In addition, 3 objections have been received to the amended proposal.

4.3 It should be noted that the original scheme which had included a retail store, received 13 objections.

4.2 To assist members with site context, a link to Google Maps is provided below:

[The Wheatsheaf, 1 Turners Hill, Rowley Regis](#)

## 5 Key Considerations

5.1 The site forms part of the Rowley Hills Strategic Open Space in the Development Plan.

5.2 The material planning considerations which are relevant to this application are: -

Government policy (NPPF)

Proposals in the Development Plan

Overlooking/loss of privacy

Loss of light and/or outlook

Layout and density of building

Design, appearance and materials

Access, highway safety, parking and servicing

Traffic generation

## 6. The Application Site

6.1 The application site is a former public house, known as the Wheatsheaf and is situated at the junction of Portway Road and Turners Hill.

The site to the south west is surrounded by garden land and the Rowley Hills and Dudley Golf Course, to the east the Rowley Olympic Rooms, to



the north west is a commercial tyre depot and residential properties are situated to the north on Portway Road.

## 7. Planning History

7.1 The planning history relates to development associated with the public house which is listed in detail below.

7.2 Relevant planning applications are as follows:

DC/07/47901	Smoking shelter	Grant with external materials 26.06.2007
DC/97/33119	Window alterations	Grant permission 10.04.1997
DC/2230A	Two set house name letters and two lanterns.	Grant advert consent 26.10.1984

## 8. Application Details

8.1 The applicant proposes to demolish the existing public house and construct a three-storey building containing 20 apartments with parking to the rear which provides 23 car parking spaces.

8.2 The development would provide 18, 1 bed and 2, 2 bed flats with balconies to provide outdoor amenity space for each flat. The internal floor space ranges between 39 sqm for the smaller 1, bed (1-person flats, to 50 sqm (1 bed, 2-person flats) and 72 sqm (2 bed, 4-person flats). Cycle parking and bin stores are provided within the block. Entrance points are provided from both the frontage and to rear from the car park area. Security gates form the vehicular entrance.

## 9. Publicity

9.1 The application has been publicised by neighbour notification letters, a site and press notice. The scheme has been amended from the original proposal to remove a retail element and was re-publicised as such.



## 9.2 Objections

Objections have been received on the following grounds:

- i) Road safety, given that the site is situated at a 4-way junction with no traffic signals and is already dangerous without the addition of 20 flats.
- ii) Insufficient parking is provided within the development. The removal of the retail component only sought to increase the number of flats. Where will visitors park? Surrounding streets are already congested.
- iii) Major current issues with school drop off/pick up for Oakham Primary school.
- iv) Large Goods Vehicle traffic would cause significant disruption during demolition and construction.
- v) Design is out of character being 'ultra-modern' and three storey height which is not in keeping with the local area.
- vi) Overdevelopment, due to increased pressure on existing highway infrastructure (busy roads/perilous junction) and the footprint of the building.

Non-material objections have been raised regarding loss of property value, loss of view, loss of area appeal and water pressure issues.

## 9.3 Support

One response has been received in support stating that following the removal of the retail component new homes are welcomed

## 9.3 Responses to objections

These are addressed in section 13 (Material considerations)



## 10. Consultee responses

### 10.1 Planning Policy

The scheme is a departure given that the site forms part of the Rowley Regis Strategic Open Space, however the site already benefits from built form, namely the Wheatsheaf public house with hardstanding surrounding it. The extent of the proposed development is arguably no greater than this. Other relevant policy issues are referred to in sections 11 and 12 below.

### 10.2 Highways

Highways raise no objections to the revised proposal, whilst the scheme has a shortfall of two visitor spaces, they consider that these can be comfortably provided on street.

### 10.3 Public Health (Air Quality)

No objections subject to conditions relating to electric vehicle charge points, low NOx boilers and a construction method statement to control dust emissions.

### 10.4 Public Health (Contaminated Land)

No objection subject to condition relating to site investigation and remediation measures.

### 10.5 Public Health (Air Pollution and Noise)

A noise survey and assessment has been undertaken due to the proximity to the road and the adjacent commercial (tyre) premises. The survey findings are broadly agreed, however further mitigation in the form of solid protection to balcony enclosures fronting the public highway should be provided. All recommendations in report such as noise insulation, fixed plant should be conditioned as such. Furthermore,



construction hours should be conditioned to 08:00 – 17:30 Monday to Friday, 08:00 – 13:00 Saturday and no working on Sunday and Public Holidays. A construction method statement details noise and vibration during the construction phases should also be conditioned.

## 10.6 West Midlands Police

No objection, but refers to security measures, such a lighting and secure entrance points.

## 10.7 Lead Local Flood Authority

The submitted drainage strategy required additional details, relating to discharge method, hydraulic calculations, exceedance and maintenance. A detailed drainage strategy can be conditioned.

## 10.8 Urban Design Officer

The revised scheme now works spatially within the footprint of the site given that the density has been reduced. This now provides more sustainable amenity space as well as a key pedestrian front access point into the block. Control into the rear court space has also been provided. The proposal now reduces the parking requirements and the provision is now reasonable. The very modern architectural design /concept for the site is welcome and will provide a focal point building that replaces the former Public House.

## 11. National Planning Policy

11.1 National Planning Policy Framework promotes sustainable development but states that local circumstances should be taken into account to reflect the character, needs and opportunities for each area.

11.2 Taking into account the views of the Council's Urban Design officer, I am of the opinion that the scheme is of a good design, in accordance with paragraph 124 of the NPPF.



11.3 In respect of paragraphs 128-130 of the NPPF, the Urban Design officer raises no objections to the scheme. The development would assimilate with the overall form and layout of the site's surroundings.

## 12. Local Planning Policy

12.1 The following policies of the council's Development Plan are relevant:

CPS4: Place Making

HOU2: Housing Density type and Accessibility

HOU3: Affordable Housing

DEL: Infrastructure Provision

ENV3: Design Quality

ENV5: Flood Risk, Sustainable Drainage System and Urban Heat Island Effect

ENV7: Renewable Energy

ENV8: Air Quality

EMP5: Improving Access to the Labour Market

TRAN4: Creating Coherent Networks for Cycling and Walking.

SAD H3: Affordable Housing

SAD EOS3: Rowley Hills Strategic Open Space

SAD EOS9: Urban Design Principles

SAD EMP2: Training and Recruitment.

12.2 The site forms part of the Rowley Hills Strategic Open Space in the Development Plan. Policy SAD EOS3 refers to development not being permitted which would prejudice the character of the Rowley Hills in terms of the wider open space, merging urban areas, the skyline and wildlife. The site itself, is already developed as a public house, the extent of the footprint is not substantially greater, arguably improving the visual appearance of the site and its setting within the Rowley Hills open space.



- 12.3 HOU2 refers to providing appropriate density and new housing. In this instance the scheme works spatially in terms of the footprint and the number of units and provides a range of flat sizes.
- 12.4 HOU3 and SAD H3 requires scheme to provide 25% affordable housing, in this instance this equates to 4 units which will be secured through a s106 agreement.
- 12.5 CPS4, ENV3 and SAD EOS9 refers to well-designed schemes that provide quality living environments in context to the area. The proposed layout and design are considered to be acceptable creating a focal point on this prominent corner site with no concerns being raised from the Urban Design Officer.
- 12.6 ENV5, 7 and 8, these policies refer to sustainable drainage, renewable energy and air quality. Sustainable drainage and renewable energy can be conditioned along with mitigate in relation air quality such as electric charge points, low NOx boilers and a dust management plan during construction.
- 12.7 DEL1 refers to infrastructure provision, the scheme will require a financial contribution under the Community Infrastructure Levy and will also provide air quality mitigation measures referred to above.
- 12.8 EMP5 and SADEMP2 refers to securing access to the labour market. In this instance this can be achieved through a condition which requires an employment and skills plan during construction.

### 13. Material Considerations

- 13.1 National and local planning policy considerations have been referred to above in Sections 11 and 12. With regards to the other material considerations, these are highlighted below:



## 13.2 Proposals in the Development Plan

As referred to above, the site forms part of the Rowley Hills Strategic Open space but is already developed land and so does not prejudice the existing openness of the Rowley Hills.

## 13.3 Access, highway safety, parking, servicing and traffic generation

Highways have no objections to the traffic generation associated with this proposal, existing problems such a school drop cannot be blockage to new development when the scheme itself does not cause harm to the highway network. In terms of construction traffic, this can be scheduled to operate outside of peak network hours. In terms of the parking, there is a shortfall of 2 visitor parking spaces, however it is considered these can be accommodated on street.

## 13.6 Loss of light and/or outlook, Overshadowing and loss of privacy.

The footprint itself does not have any impact on neighbouring property due to the surrounding open space around the site.

## 13.7 Layout and density of building

The layout, as amended, now works spatially and meets the Council's external and internal spatial standards for residential flats.

## 13.8 Design, appearance and materials

The design is modern and bends around the corner of the site, however given that the building sits in isolation on this frontage, a modern design provides opportunity to visually enhance the area. The materials do however pick up key notes such as red brick and anthracite roof and slates to the balcony features.





## 14 Alternative Options

14.1 Refusal of the application is an option if there are material planning reasons for doing so. In my opinion the proposal is compliant with relevant polices and there are no material considerations that would justify refusal.

## 15 Implications

<b>Resources:</b>	When a planning application is refused the applicant has a right of appeal to the Planning Inspectorate, and they can make a claim for costs against the Council.
<b>Legal and Governance:</b>	This application is submitted under the Town and Country Planning Act 1990.
<b>Risk:</b>	None.
<b>Equality:</b>	There are no equality issues arising from this proposal and therefore an equality impact assessment has not been carried out.
<b>Health and Wellbeing:</b>	None.
<b>Social Value</b>	Apprenticeships and job opportunities can be conditioned during construction
<b>Climate Change</b>	Sandwell Council supports the transition to a low carbon future, in a way that takes full account of the need to adapt to and mitigate climate change. Proposals that help to shape places in ways that contribute to radical reductions in greenhouse gas emissions, minimise vulnerability and improve resilience; encourage the reuse of existing resources, including the conversion of existing buildings; and support renewable and low carbon energy and associated infrastructure, will be welcomed.

## 16. Appendices

Location Plan  
Context plan



Proposed site layout  
Proposed floor plans  
Proposed elevations





















## Report to Planning Committee

10 May 2023

<b>Application Reference</b>	DC/22/67752
<b>Application Received</b>	28 November 2022
<b>Application Description</b>	Proposed demolition of existing building and installation of 19 No. storage containers for 24hr self-storage use with dropped kerb and vehicle access.
<b>Application Address</b>	234 Oldbury Road Rowley Regis B65 0QG
<b>Applicant</b>	Mr Onofrio
<b>Ward</b>	Langley
<b>Contact Officer</b>	Name: Dave Paine Email: david_paine@sandwell.gov.uk

### 1 Recommendation

1.1 That planning permission is refused due to:

- (i) The proposal would create a nuisance to nearby residents in terms of both noise and general disturbance being contrary to SAD EMP4.
- (ii) The design would be poor and would fail to contribute positively to the visual character of the area being contrary to National Policy and local policies ENV3 and SAD EOS9.



## 2 Reasons for Recommendations

- 2.1 The primary concern with this proposal is the potential for noise and general nuisance caused to nearby residents. Although consideration should be given to the existing adjacent service station, shop, repair workshop and car wash, this proposal would significantly increase the noise and disturbance to surrounding neighbouring property. The application site currently acts as a buffer between the residential uses and the commercial uses. It is noted that the rear gardens of the affected properties on Bond Street are short and that the proposed activities on the application site are therefore likely to cause a nuisance to residents.

### 3 How does this deliver objectives of the Corporate Plan?

### 3 How does this deliver objectives of the Corporate Plan?



Strong resilient communities - the proposal would cause harm to residents, being contrary to this objective.

## 4 Context

- 4.1 At the last committee meeting members resolved to defer the application until this meeting. It should also be noted that since the last meeting, the recommendation has been changed to refusal.
- 4.2 The application was reported to your Planning Committee because 8 objections had been received, whilst the recommendation has been amended to refusal, for transparency this application has still be reported to this meeting for members to make the decision.
- 4.3 To assist members with site context, a link to Google Maps is provided below:

[234 Oldbury Road](#)



## 5 Key Considerations

- 5.1 The site is unallocated in the development plan.
- 5.2 The material planning considerations which are relevant to this application are: -

Government policy (NPPF)  
Public visual amenity  
Layout and density of building  
Access, highway safety, parking and servicing  
Traffic generation  
Noise and disturbance

## 6. The Application Site

- 6.1 The application site is 0.06ha in size and situated on the east side of Oldbury Road. The site is currently generally unoccupied except for ad-hoc parking of vehicles. There is a small, single-storey brick building to the frontage of the site which has previously been used for storage and would be demolished as part of the development.
- 6.2 The character of the surrounding area is mixed. There are residential dwellings to the north, east and west of the application site. The application site faces onto the A4034, a busy main road, and is adjacent to a busy petrol filling station, to the south, with associated services. Approximately 50m to the south is the traffic-light-controlled junction with Penncricket Lane and this junction has another retail unit situated on the north-west side.

## 7. Planning History

- 7.1 Planning permission was granted in 1977 for a retail shop on the site. Subsequently, planning permission was granted in 2019 for an extension to the brick building with a change of use to a hairdresser, to include a



parking area to the rear. These uses were not implemented, and the site is currently vacant.

### 7.3 Relevant planning applications are as follows:

DC/05217	New Retail shop.	Grant permission with conditions. 01.07.1977
DC/19/63375	Proposed single storey rear extension & change of use to A1 shop (Hairdressers).	Grant permission with conditions 12.09.2019

## 8. Application Details

- 8.1 The proposal was initially for the demolition of the existing brick building and the installation of 19 storage containers for the purposes of self-storage.
- 8.2 The storage containers would be of a steel construction and would measure 6.0m long by 2.4m wide by 2.6m high.
- 8.3 Following discussion with the Highways Officer and the agent, the number of containers would be reduced to 17. This would ensure vehicles would not block the highway while waiting to enter the site.

## 9. Publicity

- 9.1 The application has been publicised by neighbour notification letter with 8 separate objections received.

### 9.2 Objections

Objections have been received on the following grounds:

- i) Increased traffic.



- ii) Jeopardises road safety.
- iii) Noise.
- iv) Pollution including light pollution.
- v) Out of character / unsightly / inappropriate.
- vi) Increase in crime.
- vii) Loss of sunlight.
- viii) 24-hour operation is not suitable.
- ix) Potential for damage to street furniture / monopole.

Non-material objections have been raised regarding loss of property value, land ownership / right of access / encroachment / boundary matters and potential storage of hazardous items.

### 9.3 Responses to objections

I respond to the objector's comments in turn:

- i) Highway did not object on the basis of increased traffic. As this is a major 'A' Road, the overall impact on traffic flows would be insignificant.
- ii) Highways did express road safety concerns relating to queuing traffic on the 'A' Road and the potential for vehicles to reverse out onto the 'A' Road without room to turn. Amended plans were requested and submitted removing 2 containers which would allow vehicles arriving and leaving to have adequate space within the site. Following this, Highways withdrew their objection.
- iii) As previously stated in paragraph 6.2, this is not a quiet area. However, it is agreed that the proposal would cause an increase in noise nuisance to nearby residents. A condition to limit the hours of operation between the hours of 08:00-18:00 could be considered, in order to reduce night time noise nuisance, but this would still allow for considerable day time activity and as a consequence nuisance.
- iv) There is no evidence to suggest ground pollution or air pollution would be significantly impacted by the proposal. Light pollution is a concern but could be adequately controlled through a planning



condition for an external lighting scheme. However, vehicle headlights could still give rise to concern given the relation of the site to the surrounding dwellings.

- v) The proposed containers would be 2.6m high which would be visible from nearby dwellings and from the public realm on Oldbury Road. The containers would be visually poor and would not contribute positively to the character of the area. No consideration has been given to the visual design of the containers, their appearance would be entirely dictated by their function.
- vi) The Police commented on this proposal. They did not object but did offer suggestions in regard to outside lighting and CCTV as crime prevention measures. Currently the site is unmonitored. This proposal affords the opportunity to improve the security of the site in order to reduce the risk of crime.
- vii) It is not considered that 2.6m high containers positioned around 12m from the nearest dwelling would have any significant impact on natural light.
- viii) A condition to control hours of operation could be considered, should your committee be minded to approve the application.
- ix) While it is noted that a monopole supplying telephone lines to nearby properties is just outside the north-west corner of the site, it does not block the proposed access to the site, and there is no evidence to suggest that the proposal would create any significant likelihood of damage.

## 10. Consultee responses

### 10.1 Planning Policy

Policy SAD EMP4 - Relationship between Industrial and Sensitive Uses is applicable. This policy states that any industrial development with a potentially adverse effect on neighbours should not be permitted unless those effects can be reduced to an acceptable level. The proposal is therefore of concern.





Policy ENV3 states that the Council will reject poor designs, particularly those that are inappropriate in their locality.

Planning Policy consider that this could be considered an inappropriate use for a residential area and that 24-hour operating times could have an adverse effect and therefore recommend refusal.

## 10.2 Highways

Highways expressed initial concerns regarding vehicles queuing on the 'A' road for access and then reversing onto this road. Amended plans were then submitted and Highways no longer objects to the scheme.

## 10.3 West Midlands Police

Concerns were expressed regarding the site as a target for thieves and anti-social behaviour and recommendations were given for mitigation measures, including locking methods, alarms, lighting, and CCTV. No objection was given.

## 10.4 Public Health

Public Health expressed concerns about potential noise problems. They requested information regarding noise mitigation measures. A brief noise statement was then submitted by the agent. Further comments from public health were then received which expressed concerns about the suitability of shipping containers in this location, particularly the noise produced when containers are opened or closed. They also noted the potential for nuisance to be caused when several users arrive at the same time and the issues with manoeuvring vehicles within the site.

## 11. National Planning Policy

11.1 National Planning Policy Framework promotes sustainable development but states that local circumstances should be considered to reflect the character, needs and opportunities for each area.



11.2 The same guidance refers to development adding to the overall quality of the area by achieving high quality design, good architecture and layouts. I am of the opinion that the scheme would be of a poor design which would not add to the overall quality of the area, in accordance with paragraph 124 of the NPPF.

11.3 The same guidance promotes sustainable transport options for development proposals and paragraph 111 states that developments should be prevented or refused on highway grounds if there would be an unacceptable impact on highway safety, or the residual cumulative impacts on the road network would be severe. In this regard, the number and type of vehicle movements associated with development did not raise objections from Highways as it was considered that this would not have a severe impact on the existing highway network or highway safety.

## 12. Local Planning Policy

12.1 The following policies of the council's Development Plan are relevant:

ENV3: Design Quality

SAD EOS9: Urban Design Principles

SAD EMP4: Relationship between Industrial and Sensitive Uses.

12.2 SAD EMP4 gives guidance on the relationship between Industrial and Sensitive Uses and requires that any adverse effects should be reduced to an acceptable level. As referred to above, this site acts as a buffer between the existing petrol filling station and established residential property on Oldbury Road, Bond Street and Penn cricket Lane. The introduction of this use would remove this buffer whilst also introducing a use that would generate noise from vehicle movements and activities associated with use of the storage containers. Whilst noise could be reduced due to reducing the hours of use, it is considered that the harm to the amenity of residential property would still be unacceptable.



12.3 ENV3 and SAD EOS9 refers to well-designed schemes that provide quality living environments. In this instance the proposal in terms of design is deemed to be poor and would not positively contribute to improving the appearance of the area.

### 13. Material Considerations

13.1 National and local planning policy considerations have been referred to above in Sections 11 and 12. With regards to the other material considerations, these are highlighted below:

#### 13.2 Proposals in the Development Plan

The site is unallocated in the local plan and so the application should be judged on relevant policy referred to in Sections 11 and 12 above and material considerations below.

#### 13.3 Access, highway safety, parking, layout and traffic generation

Highways raised initial concerns with the scheme. They noted that the trip rate was unclear and that the proposed layout could lead to the turning area being blocked and vehicles waiting on the highway to enter the site or reverse onto the highway.

Amended plans were submitted which reduced the number of the containers by two to create a significantly larger area for vehicles at the entrance to the site. On this basis, Highways have raised no objections to the proposal.

#### 13.4 Public visual amenity

The proposed containers would be 2.6m high. As stated above in paragraph 9.3 (v), this proposed would have a detrimental impact on public visual amenity and would not make a positive contribution in terms of its design to the wider area.



## 13.5 Noise and disturbance

The potential for significant noise nuisance and disturbance exists, affecting nearby occupants' peaceful enjoyment of their property. Despite various local noise and disturbance sources being established in the area, the proposed use would both add an additional noise source which would be substantially closer to residential properties than existing noise sources.

## 13.6 Layout and Density

Although the number of proposed containers has been reduced from 19 to 17, to alleviate issues of waiting traffic on the Highway, it remains the case that the site itself is narrow and would only provide access for one vehicle at a time, through the site. This would potentially cause congestion within the site when more than one user is using the site at the same time.

## 14 Alternative Options

14.1 Approval of the application is an option, however the issues raised in this report indicate that the proposal would be contrary to both local and national policy and material considerations such as noise are sufficient concern to warrant refusal.

## 15 Implications

<b>Resources:</b>	When a planning application is refused the applicant has a right of appeal to the Planning Inspectorate, and they can make a claim for costs against the Council.
<b>Legal and Governance:</b>	This application is submitted under the Town and Country Planning Act 1990.
<b>Risk:</b>	None.
<b>Equality:</b>	There are no equality issues arising from this proposal and therefore an equality impact assessment has not been carried out.



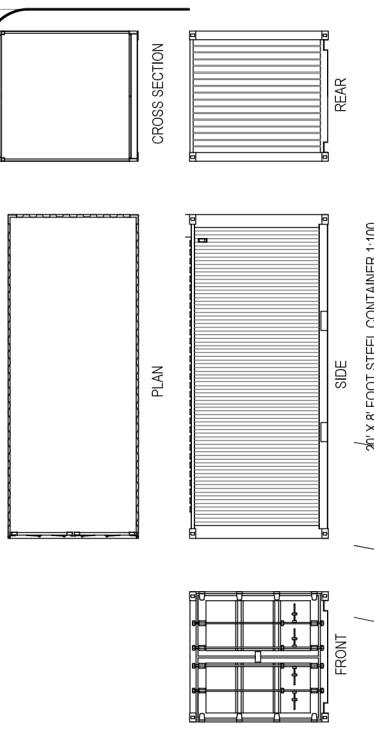
<b>Health and Wellbeing:</b>	None.
<b>Social Value</b>	None.
<b>Climate Change</b>	Sandwell Council supports the transition to a low carbon future, in a way that takes full account of the need to adapt to and mitigate climate change. Proposals that help to shape places in ways that contribute to radical reductions in greenhouse gas emissions, minimise vulnerability and improve resilience; encourage the reuse of existing resources, including the conversion of existing buildings; and support renewable and low carbon energy and associated infrastructure, will be welcomed.

## 16. Appendices

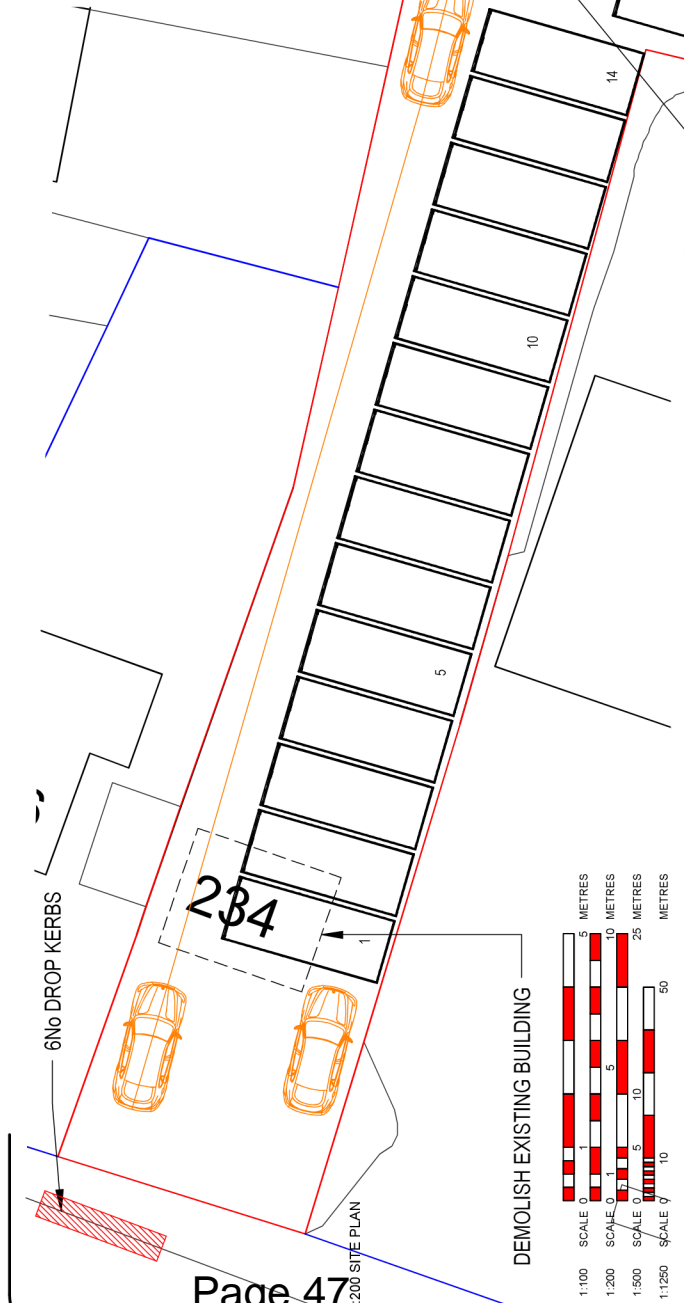
Context plan  
Site layout plan.





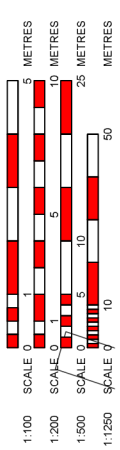


20' X 8' FOOT STEEL CONTAINER 1:100

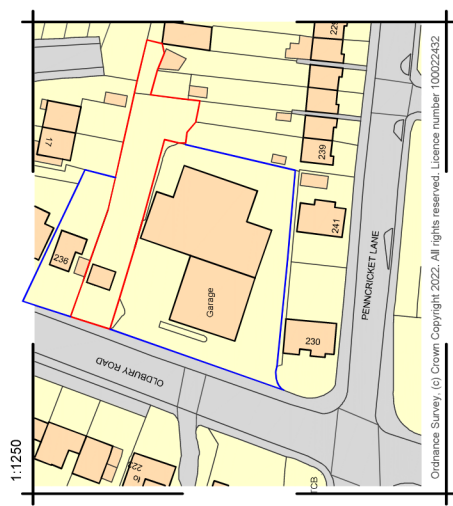


1:200 SITE PLAN

DEMOLISH EXISTING BUILDING



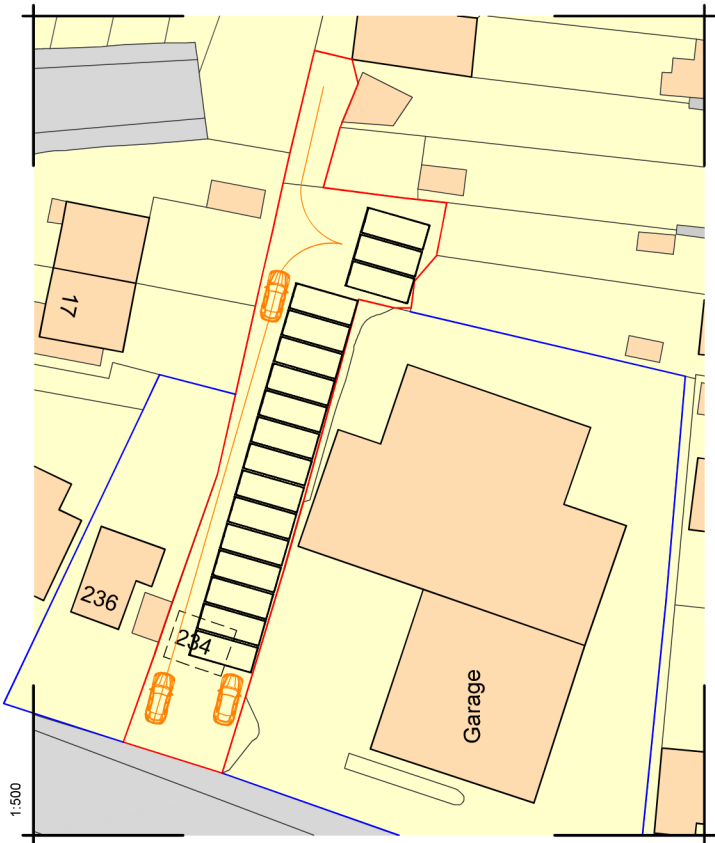
B	DC COMMS	25/01/23
A	DC COMMS	12/12/22
<b>BETAPLAN</b>		
21 MILESTONE DRIVE, HASELY D'YB DLP		
01562 811020 / 07711 527239		
WWW.BETAPLAN.CO.UK		
INFO@BETAPLAN.CO.UK		
PROJECT		
YARD STORAGE		
ADDRESS		
234 OLDBURY ROAD ROWLEY REGIS B65 0QG		
BFGI	REVISION	B
0620/01		
PROPOSED SITE BLOCK & LOCATION PLAN		
DATE	DRAWN	SCALE
JUN22	SRB	1:1250 1:100 1:500 1:200



1:1250

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These drawings are produced to obtain planning and building regulations approval. It is the responsibility of the designer, all dimensions to be checked on site.



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## Report to Planning Committee

**10 May 2023**

<b>Application Reference</b>	DC/22/67785
<b>Application Received</b>	14 December 2022
<b>Application Description</b>	Proposed 3 storey community skills hub building with 2 No. detached outbuildings for storage, substation, plant room, new vehicular access and gates to front, car parking, cycle storage, enclosed skip/refuse bays, boundary fencing, landscaping and associated works.
<b>Application Address</b>	Sandwell MBC Public Car Park Lower High Street
<b>Applicant</b>	Sandwell College
<b>Ward</b>	Cradley Heath & Old Hill
<b>Contact Officer</b>	Alison Bishop Alison_bishop@sandwell.gov.uk

### 1. Recommendation

1.1 Subject to the application being reported to Full Council, a s106 agreement to secure monitoring of parking and any subsequent mitigation, that planning permission is granted subject to conditions relating to:

- i) External materials (to include detailed design of the chain motif to the window reveals);



- ii) Landscaping scheme;
- iii) Boundary treatments;
- iv) Ground investigation and remediation;
- v) Electric vehicle charge points;
- vi) Low NOx boilers
- vii) Noise assessment relating to fixed plant and mitigation;
- viii) Construction management plan (to include logistics plan, dust suppression measures etc);
- ix) Cycle storage;
- x) Bin storage;
- xi) Waste management/refuse plan;
- xii) Parking/drop and access to be laid out and retained;
- xiii) Travel plan;
- xiv) Details of sustainable drainage system (surface water) and disposal foul;
- xv) Details of security measures to include CCTV, Lighting, access entrance points;
- xvi) Jobs and skills plan; and
- xvii) No vinyl to windows serving the frontage of the development.

## 2 Reasons for Recommendations



2.1 The submission has demonstrated that the scale and design of the proposal sits comfortably within the site and wider area. Parking whilst limited, has been justified through the evidence provided in the Transport Assessment and appropriate mitigation identified should manage parking issues resulting from the development. Finally, the location, design and landscaping would safeguard the privacy/outlook/light of adjoining residential property.

## 3 How does this deliver objectives of the Corporate Plan?



Best start in life for children and young people – provides a new education facility within Sandwell specifically for residents within Cradley Heath and Rowley Regis.



	Strong resilient communities – provides opportunities for additional training to assist with future employment for young people.
	A strong and inclusive economy – provides an opportunity for apprenticeship during construction and work thereafter through training.

## 4 Context

- 4.1 At the last committee meeting the application was deferred due to outstanding matters, however members did undertake a visit to the site.
- 4.2 The application is being reported to your Planning Committee because it is a departure from the development plan, a s106 is required and 29 objections as well as a petition from local residents has been received. In addition, Councillor Vicki Smith also requested that the application should be reported to Planning Committee referring to concerns relayed to her from residents in relation to a lack of parking within the site.
- 4.3 To assist members with site context, a link to Google Maps is provided below:

[Lower High Street, Cradley Health](#)

## 5 Key Considerations

- 5.1 The site is allocated for housing in the Development Plan.
- 5.2 The material planning considerations which are relevant to this application are: -

Government policy (NPPF)  
Proposals in the Development Plan  
Overlooking/loss of privacy  
Loss of light and/or outlook  
Overshadowing



Public visual amenity  
Layout and density of building  
Safety Security/ASB  
Design, appearance and materials  
Access, highway safety, parking and servicing  
Traffic generation  
Noise and Pollution

## 6. The Application Site

- 6.1 The application site is a vacant piece of hardstanding. The site had been previously used as a Council pay and display car park but is now closed.
- 6.2 The site is situated to the north of Lower High Street, Cradley Heath opposite Sydney Road and Mary Macarthur Gardens and adjacent to the Lidl retail store. To the rear of the site is a new residential development (Printers Drive). The site is located 220 metres from Cradley Heath train station and 200 metres from Cradley Heath town centre.

## 7. Planning History

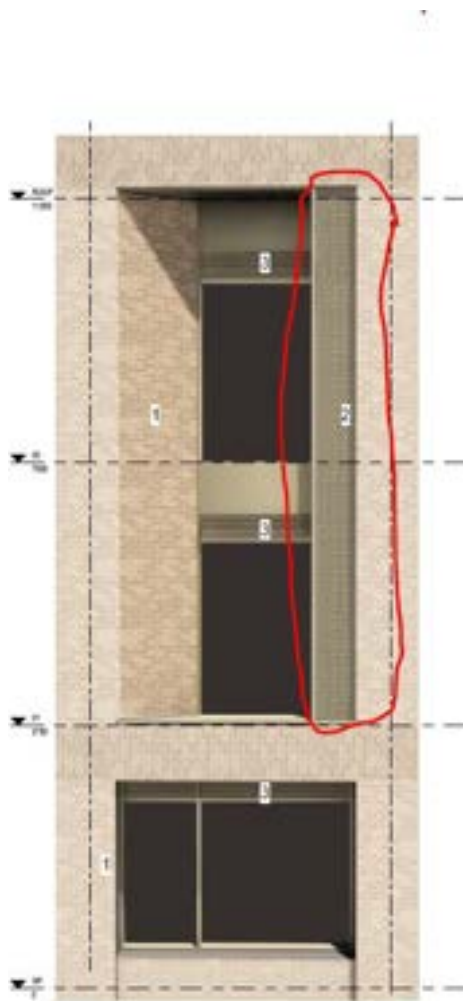
- 7.1 There is no planning history associated with the site.

## 8. Application Details

- 8.1 The applicant proposes to construct a 3-storey community skills hub building. The building is an irregular shape which sits to the frontage of Lower High Street. At the widest point it measures 34 metres (W) by 25.5 metres (L) and reduces to 14 metres adjacent to the existing builder's yard. The maximum height would be 13.7 metres, to include roof plant. The building would incorporate a palette of materials which would largely be a textured buff colour and would be arranged in soldier and standard bond courses to the front elevations and a hit and miss Flemish bond detail to the side elevation. The proposed design would also incorporate a perforated metal spandrel panel with a chain making



motif to the side of the window reveals. As indicated in the bay section extract below: -



8.2 The building would provide education and training for the following individuals: -

16-18 years old

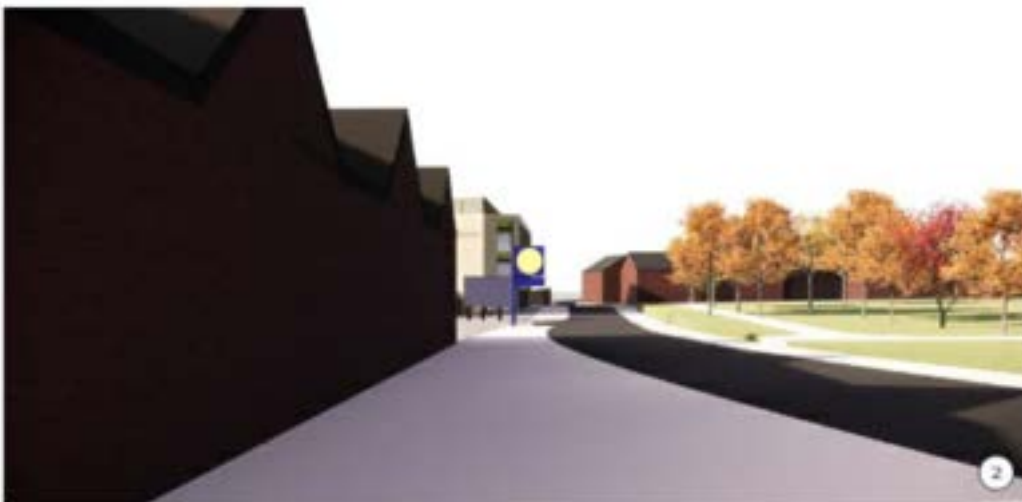
19-25 years old (NEETs)

24+ (un)employed adults.

8.2 A café would also be provided to serve both students and the wider community on the ground floor.



- 8.3 No car parking provision is provided within the scheme, except for 7 drop off bays and 2 dedicated disabled parking spaces.
- 8.4 The application includes various supporting documents such as a Transport Statement, Design and Access Statement, Ground investigation report, Archaeological Desk Based Assessment and Drainage Report.
- 8.5 The Design and Access Statement provides a narrative about how the design solution evolved and justifies the materials choice and the scale of the building. Firstly, the buff colour materials are influenced by the stone buildings situated within Cradley Heath and refers to the former Municipal Building, now the Fire Station on the corner of Barrs Road/Halesowen Road. The scale in relation to its setting is demonstrated by a photomontage showing the building both along Lower High Street and to the rear from residential properties (Printers Close). See image extracts below: -





Views from Cradley Heath Town Centre



View from Mary Macarthur Gardens

The flat roof design was chosen due to the irregular shape of the building whereby pitch roofs would have looked awkward and complex. Instead it is considered that a flat roof with plant above and a simple screen would allow plant and photovoltaics (pvs) to enjoy the extensive roof, provide safe access for their maintenance and reduce the scale and massing compared to a full pitched room.

The landscaping scheme proposes to enhance the existing native planting to the rear of the site and would introduce additional native trees.





Existing view from South into Printers Drive off Chester Road

8.6 The Transport Statement has indicated that: -

- a. There are 371 public car parking spaces within a 6-minute walking distance of the site and at peak times (07:00-19:00) a total of 46 spaces remained empty.
- b. The site is 2km from a number of surrounding residential areas and so a high proportion of students could walk to the site.
- c. Several bus services operate along Lower High Street with a bus stop within 100 metres of the site and the train station 200 metres from the site.
- d. The development provides 18 sheltered cycle spaces to support sustainable travel to the site.
- e. A Travel Survey took place in January 2022 of users of the existing Sandwell College campus. 279 (63%) staff and 980 (16%) students responded. The findings showed that 70% of staff and 20% of students travelled by car and 57% of students travelled by public transport. When applying this pattern to the site, this equates to a daily total of 10 staff and 36 students by car, however at peak times this would likely be 18 (am) and 11 (pm) car journeys.





- f. A Travel plan will be implemented from initial occupation and both staff and students will be aware that there is no car parking provision within the site. The Travel Plan would include annual monitoring reports, a cycle to work scheme for staff, TOTUM discounts and bus metro train passes for students.
- g. There will be no loading bay on street. Refuse will be in line with the existing Traffic Regulation Order. Servicing deliveries would occur within the car park. No minibuses would be stored within the site and bays would only be available for infrequent drop off purposes. Larger bays are provided for greater flexibility and servicing of the site.
- h. Data analysis of accidents along Lower Higher Street shows that there have been no serious accidents adjacent to the site.
- i. Occasional weekend use for community use which would be a meeting room with maximum capacity 12 and that the off-street parking would be available during these times.
- j. Café users would be staff and students but also open to members of the public; however this would likely be linked to Lidl and Station use passers by linked trips only.

## 9. Publicity

9.1 The application has been publicised by neighbour notification and press notice. A petition and 29 neighbour objections have been received.

## 9.2 Objections

Objections have been received on the following grounds:

- i) Traffic generation/road safety concerns
  - a. Proximity of the site to the junction of Sydney Road and at a bend in the road will cause safety issues when vehicles exit the site.
  - b. Construction traffic will cause massive disruption and will use side streets to avoid traffic congestion.



- c. Lower High Street is an extremely busy road.
  - d. The builder's yard adjacent, already causes congestion from deliveries and customers.
  - e. Congestion on residential streets (Whitehall Road) would affect emergency vehicle access.
  - f. Safety of children if vehicles fly park and force pushchairs into the road around the park.
- ii) Insufficient parking
- a. Limited parking within the development for staff/students.
  - b. Parking is already a problem in surrounding streets due to train commuters/builders yard/Buddhist Centre/Dentist.
  - c. Parking will occur on resident's streets adjacent, as the resident's parking zone only covers part of Sydney Road.
  - d. Loss of existing much needed car park.
  - e. Concerns about construction parking during development of the site.
  - f. Nearby town centre car parks are limited to shoppers with only 1½ hours free use.
  - g. Reduces parking for children with young families using Mary Macarthur Gardens
- iii) Inappropriate Design
- a. The design is a brutalist monolith which will detract from the amenity of Mary Macarthur Gardens and is not in keeping with the locality.
  - b. Overdevelopment of the site – too dominant within the street scene/insufficient parking.
  - c. The site is too small for the footprint of the building.
  - d. Limited outside space for students/staff.
- iv) Amenity concerns (loss of light/privacy/outlook)
- a. The building, due to being on higher ground and proximity, would affect the privacy/light of residential properties on Printers Drive.



- b. Due to the size of the building it will impact on the outlook from residential properties.
  - c. Overshadowing of residential properties would affect solar gain to solar panels.
- v) Noise/Air pollution
- a. Noise increase to residential properties from the proposed use (increase footfall students/staff).
  - b. Air pollution increased from additional traffic.
- vi) Increased Anti-Social Behaviour/safety
- a. Concerns about increase threat of break-ins to residential properties.
  - b. Safeguarding of children – privacy
  - c. Increase in litter (already noted when children are off school)
  - d. Parking disputes could increase community tensions.
- vii) Loss of Trees/wildlife
- a. Loss of trees
  - b. Impact on wildlife
- viii) Other
- a. Offer of free bus passes would be impossible to enforce
  - b. Questions about public consultation prior to the submission of the planning application
  - c. The site closes at 5pm so would not be inclusive to the wider community
  - d. A better location would be to use the site opposite the station.

Non-material considerations have referred to loss of property value.

### 9.3 Responses to objections

These are addressed in section 13 (Material considerations).



## 10. Consultee responses

### 10.1 Planning Policy

The site is allocated for housing and is departure from the Development Plan however due to the surrounding development and its proximity to the town centre an education facility is deemed acceptable. Further discussion will be referred to in section 12 regarding relevant policies within the development plan.

### 10.2 Highways

Concerns had been expressed regarding the lack of parking provision within the site and how the site would operate. Following the submission of further details, Highways have removed their objection on the understanding that proposals within the travel plan (i.e. cycle to work schemes, travel passes etc) would incentivise staff and students to use sustainable transport. This however relies on the success of the Travel Plan, which would be difficult to enforce if staff/students chose to use cars to travel to the site. The Highways service have therefore requested that a s106 agreement also secures an obligation for the applicant to undertake baseline surveys before the development commences and then a further survey after the development is complete and occupied. If it is then found that car traffic related to the development is affecting adjacent residential streets, then the applicant would contribute to further mitigation in the form of further residents' parking schemes/TROs.

### 10.3 Public Health (Air Quality)

No objections subject to conditions relating to electric vehicle charge points, low NOx boilers and a construction method statement to control dust emissions.



#### 10.4 **Public Health (Contaminated Land)**

No objection subject to condition relating to site investigation and remediation measures.

#### 10.5 **Public Health (Air Pollution and Noise)**

No objection subject to condition relating to noise assessment and mitigation.

#### 10.6 **West Midlands Police**

No objections but provide commentary in relation to secured by design principles, such as CCTV, security to building and lighting.

#### 10.7 **Lead Local Flood Authority**

A sustainable drainage strategy has been submitted and is deemed acceptable.

#### 10.8 **Severn Trent**

No objection subject to standard conditions regarding a detailed drainage scheme for the disposal of surface water and foul from the site.

#### 10.9 **Urban Design Officer**

The roof design and materials for the development are considered to be out character with the area. The officer asserts that Cradley Heath is predominately a red brick with pitched roofs. Notwithstanding this, if the materials are deemed acceptable, details relating to the chain motif should be conditioned. Other matters which can be conditioned related to minimal planting to the frontage, the location of the cycle storage/parking, boundary treatments, bins storage and no vinyl on the windows serving the café/ground floor space.



## 11. National Planning Policy

- 11.1 National Planning Policy Framework promotes sustainable development but states that local circumstances should be taken into account to reflect the character, needs and opportunities for each area.
- 11.2 The guidance also refers to development adding to the overall quality of the area by achieving high quality design, achieving good architecture and layouts. The applicant has provided significant evidence to justify the design proposal and its relationship within the footprint of the site.
- 11.3 The same guidance promotes sustainable transport options for development proposals and paragraph 111 states that developments should only be prevented or refused on highway grounds if there would be an unacceptable impact on highway safety, or the residual cumulative impacts on the road network would be severe. The Highways team do not consider that the development would have a severe impact on the highway network as the number of trips associated with this development would be only circa 1% increase in vehicle trips of the existing highway network.

## 12. Local Planning Policy

- 12.1 The following policies of the council's Development Plan are relevant:

CPS4: Place Making

DEL1: Infrastructure Provision

HOU5: Education and Health Care Facilities

ENV3: Design Quality

ENV5: Flood Risk, Sustainable Drainage System and Urban Heat Island Effect

ENV7: Renewable Energy

ENV8: Air Quality

EMP5: Improving Access to the Labour Market

TRAN4: Creating Coherent Networks for Cycling and Walking.

SAD HE5: Archaeology & Development Proposals.



- 12.2 The site is allocated for residential development and so this proposal is contrary to the allocation and is a departure from the development plan. As such there should be a robust justification to set aside this policy.
- 12.3 Policy HOU5 refers to new educational facilities being well designed, suitably located and providing a need within the area. With regard to location, the site is conveniently located to Cradley Heath town centre and the train station. Design considerations will be referred in later sections. The site itself is situated on the edge of the centre sandwiched between the Lidl Store and a commercial builder's yard. Given these factors, it is considered that a more commercial use is better suited to this location than a housing site. Turning to need, Sandwell College has identified, largely through the Town Funding process, that there is a need for an education facility to serve the residents of Cradley Heath and Rowley Regis. As has been outlined above, this facility is aimed at young adults to provide them with skills to support them into employment.
- 12.4 CPS4, ENV3 and SAD EOS9 refers to understanding historic character and local distinctiveness which makes a positive contribution to place-making. The scheme should be well designed providing good pedestrian and public transport access. Matters of scale and compatibility with their surroundings should also be considered. In the main, the proposal sits comfortably within the group of buildings fronting Lower High Street, as the visuals referred to in the design and access statement demonstrate. The levels do drop significantly to the rear of the site and visuals show that the housing scheme is on significantly lower ground.

The materials choice is more unconventional given the strong red brick presence within Cradley Heath, however it is acknowledged that other civic buildings within the locality used buff materials, such as stone, render and brick. I do however consider that to ensure the massing and



scale of the building assimilates and responds to Cradley Heath as a place, that the use of the chain motif, using perforated metal, should be included and that landscaping to the rear boundaries is enhanced to retain and soften the impact of the building to residential property on Printers Drive.

- 12.5 TRAN4 refers to creating good pedestrian and cycle connections to sites. The proposal's main door is currently served to the side elevation with no visual connection from the main façade. Ideally a direct link from the public realm would be preferred, but the design requires a side entrance for appropriate security when entering the building. The cycle stores are located to the rear of the site and it had been requested that these are located adjacent to the building, however the applicant has stated that for logistical reasons the materials store needs to be located nearest to the building.
- 12.6 ENV5, 7 and 8, these policies refer to sustainable drainage, renewable energy and air quality. The development proposes to incorporate a Sustainable Drainage System (SuDS), introduces photovoltaics within the roof (renewable energy) and conditions can be attached to mitigate air quality such as the Travel Plan, electric charge points, low NOx boilers and a dust management plan during construction.
- 12.8 EMP5 and SADEMP2 refer to securing access to the labour market. In this instance this can be achieved firstly through a condition which require an employment and skills plan during construction, but in addition the proposal itself seeks to provide training to support young people back into employment.
- 12.9 The site falls within an area of archaeological significance, a desk-based assessment accompanied the application and its conclusions state there is limited significance of buried archaeology within the site and no further action is required.





### 13. Material Considerations

13.1 National and local planning policy considerations have been referred to above in Sections 11 and 12. With regards to the other material considerations, these are highlighted below:

#### 13.2 Proposals in the Development Plan

The site is allocated for housing, in this instance given the location of the site it is considered that a commercial use is better suited.

#### 13.4 Access, highway safety, parking, servicing and traffic generation

Residents have expressed concerns about the impact of this development within the local highway network, in particular, with regard to highway safety. The Transport Statement has demonstrated that there is no data showing that significant accidents have occurred on this section of Lower High Street. The vehicular access to the site only serves limited traffic which again will not significantly affect traffic. In terms of the national policy the proposal would not have a severe impact on road safety to warrant refusal and Highways have not objected on safety grounds.

The wider concerns relate to traffic generation serving the new development. The Transport Statement has carried out analysis of the likely vehicle movements based on surveys of staff and adult students at the Central West Bromwich Campus. This suggests that at worst, on any given day, there would be a total of 46 vehicles and that within 2km of the site there is sufficient parking provision from existing public car parks. Notwithstanding this, as a means to ensure that cars associated with this development use these car parks rather than parking on adjoining streets, the s106 agreement would ensure that this is monitored and if found to occur, sanctions in the form of additional resident parking schemes and/or TROs would be introduced at the cost of the applicant. On the basis of the information submitted and the



safety net of the s106 agreement, highways have no objections to the proposal.

Other concerns referred to existing businesses causing problems in the locality, however this cannot be a justification to refuse permission if the scheme demonstrates that it would not impact on the road safety and parking. Given the analysis and proposed mitigations it is considered that the scheme is acceptable in highway terms.

### 13.6 Loss of light and/or outlook, Overshadowing and loss of privacy

Residents on Printers Drive, off Chester Road have raised concerns about loss of privacy, light, overshadowing and outlook. In the first instance the application site, in the main, does not directly interface with residential properties and is situated opposite the resident's parking court. See image below: -



There are however, side elevations which face part of the application site. These elevations are 27.3 metres from the rear elevation of the building. In addition, the rear elevation immediately adjacent to these



residential properties provides a stairwell and a blank façade, therefore given the separation and the design of the building it is considered that there would not be any direct overlooking or loss of privacy.



SOUTH ELEVATION

Turning to concerns about overshadowing, as indicated the levels are significantly different from Lower High Street to Printers Drive and current landscaping and vegetation exists. Whilst the height of the building is significant, with the separation referred to above and the current landscaping, it is not considered that this would result in any additional overshadowing. To ensure that a robust landscaping boundary is retained and enhanced, conditions are recommended as such.

### 13.7 Design, layout, appearance and materials

Residents have stated that they consider the design to be a ‘brutalist monolith’ which will detract from the amenity of Mary Macarthur Gardens and is not in keeping with the locality. They consider that the development is too dominant and the footprint too large for the site with no outside space for staff/students. The Design and Access Statement provides visuals showing the proposal in context to existing built form, which indicates that the scale of the building would assimilate with the wider context of the area. Design can be subjective, but the applicants



have provided evidence of where they have drawn their design influences from within Cradley Heath's past and present along with reference to civic buildings of this design style in other areas of the country. From the visuals presented I do not consider that the development would unduly detract from the character of the wider area or the setting of the adjacent gardens. Turning to spatial standards, the footprint is large, but provides opportunity for enhanced landscaping to the boundaries, although arguably trees to the frontage rather than planters would assist with breaking up the vertical lines of the building. In terms of the latter, the applicants have stated that planters were chosen because of tree root constraints and to retain outward views from the building. Whilst limited outdoor space is provided, given the proximity of the gardens opposite and nearby town centre, it is considered that students and staff have easy access to additional outdoor space and facilities.

### 13.8 Safety Security/ASB

The Police have raised no objections to the proposal, aside from recommendations regarding security of the building. Residents to the rear of the site will naturally be concerned about safety. But it is considered that the presence of this building is more likely to improve safety and natural surveillance of the site and boundaries would be improved along with the addition of CCTV and lighting. Other matters such as litter, safeguarding of children and parking disputes have been raised. The proposed boundary treatments to the rear and security measures would protect residents from trespass and loss of privacy. In terms of litter, this will be for the management of the applicant, but appropriate waste facilities will be provided within the site. With regard to parking disputes, the s106 should ensure that if inappropriate parking arises, this can be managed.

### 13.9 Noise and Pollution

Public Health have raised no objections to the proposal subject to conditions requiring a noise assessment for plant and any mitigation



thereafter to be implemented. Electric charge points, low NOx boilers and a construction management plan have also been recommended and can be conditioned.

### 13.10 **Loss of Trees/wildlife**

The site is currently all hardstanding with some landscaping to the boundaries. The development would introduce additional landscaping (including trees), therefore it is considered that there would be a neutral impact for both trees and wildlife.

### 13.11 **Other considerations**

It should be noted that the land is currently in the ownership of the Council. Therefore, prior to entering into a s106 agreement to secure parking mitigation, the land would have to be transferred to the applicant. It is understood negotiations are already taking place. However, this in itself has no bearing on the recommendation and is in the interests of transparency.

It is acknowledged that the proposed Travel Plan measures may not be adopted by students and staff, however the surveys suggest that take up of public transport is high for students. Furthermore, given the catchment area for students will be within the local area, walking and cycling is more likely to occur.

Questions have been raised about public consultation prior to the submission of the planning application. This in itself is not a requirement of a planning application submission, notwithstanding this, residents have responded to the planning submission and their concerns reported to your committee and have been responded to within this report.

The facility is specifically for the local community of Cradley Heath and Rowley Regis, albeit specially for those trying to improve their education attainment in order to gain employment. Alongside this, the



café will be open to the public and the facility can be used for community use at the weekend.

Finally, the application must be considered on the location proposed and not any other locations which fall outside the application site, however it is understood that other options were explored when selecting a site. This site was the only suitable and available site within the town centre.

## 14 Alternative Options

14.1 Refusal of the application is an option if there are material planning reasons for doing so. In my opinion the proposal is compliant with relevant polices and there are no material considerations that would justify refusal.

## 15 Implications

<b>Resources:</b>	When a planning application is refused the applicant has a right of appeal to the Planning Inspectorate, and they can make a claim for costs against the Council.
<b>Legal and Governance:</b>	This application is submitted under the Town and Country Planning Act 1990.
<b>Risk:</b>	None.
<b>Equality:</b>	There are no equality issues arising from this proposal and therefore an equality impact assessment has not been carried out.
<b>Health and Wellbeing:</b>	None.
<b>Social Value</b>	Apprenticeships and job opportunities can be conditioned during construction
<b>Climate Change</b>	Sandwell Council supports the transition to a low carbon future, in a way that takes full account of the need to adapt to and mitigate climate change. Proposals that help to shape places in ways that contribute to radical reductions in greenhouse gas emissions, minimise vulnerability and improve



	resilience; encourage the reuse of existing resources, including the conversion of existing buildings; and support renewable and low carbon energy and associated infrastructure, will be welcomed.
--	---

## 16. Appendices

Location/Context Plan

Site Layout

Proposed Elevations

Proposed Floor Plans

Proposed Landscape Plan

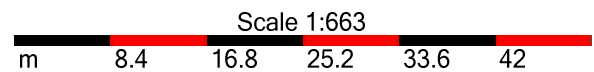


DC/22/67785

SMBC Public Car Park, Lower High Street, Cradley Heath



Legend



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Organisation	Not Set
Department	Not Set
Comments	Not Set
Date	27 January 2023
OS Licence No	





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- KEY
- APPLICATION SITE BOUNDARY
  - EXISTING TREE TO BE REMOVED SUBJECT TO SURVEY INFORMATION
  - EXISTING TREE TO BE RETAINED SUBJECT TO SURVEY INFORMATION

NOTE: FOR PROPOSED LANDSCAPE SCHEME PLEASE REFER TO LANDSCAPE DRAWINGS SUBMITTED WITH THE APPLICATION

FOR FURTHER EXISTING TREE INFORMATION REFER TO ARBORICULTURAL SURVEY AND REPORT

**STAGE 3**

0 5 m

REVISION	DATE	DESCRIPTION	ARCHITECT	PARTNER
S2 P 1	22.11.22	PLANNING SUBMISSION	SC	ADP

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JOB TITLE:  
**CRADLEY HEATH SKILLS HUB**

DRAWING TITLE:  
**PROPOSED SITE PLAN**

SCALE: <b>As indicated</b>		DRAWING SHEET SIZE: <b>A1</b>
JOB CODE: <b>001473</b>	DRAWING NUMBER: <b>ADP-00-00-DR- A-0912</b>	REVISION: <b>S2 P 1</b>

**NOTE**  
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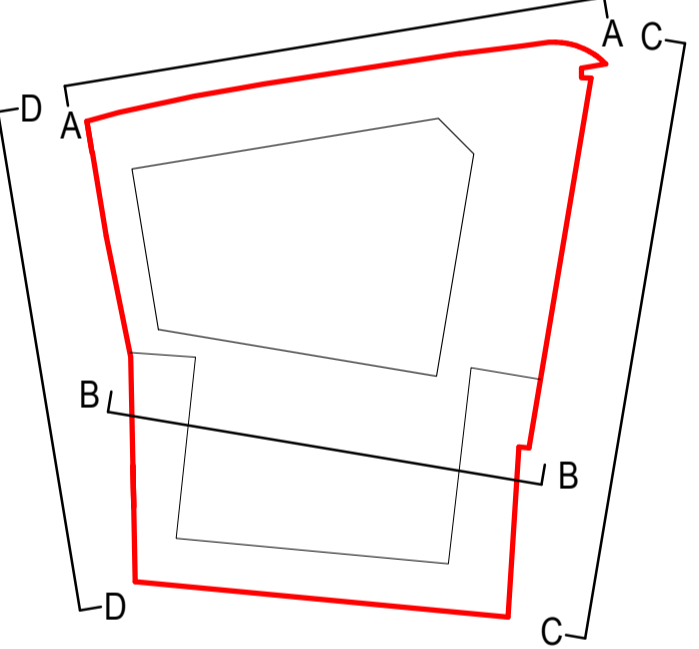
**MATERIALS KEY**

- ① FACING BRICK
- ② PERFORATED METAL SPANDREL PANEL WITH CHAIN MOTIF
- ③ METAL LOUVRE
- ④ METAL PLANT SCREEN
- ⑤ HIT-AND-MISS FEATURE BRICK
- ⑥ SPANDREL PANEL WITH CHAIN MOTIF



**C EAST ELEVATION**  
1 : 100

**ELEVATION KEY**



**D WEST ELEVATION**  
1 : 100

**STAGE 3**



REVISION	DATE	DESCRIPTION	ARCHITECT	PARTNER
S2 P 1	22.11.22	PLANNING SUBMISSION	SC	ADP
S2 P 2	21.12.22	FOR REVIEW	ADP	ADP
S2 P 3	28.02.23	PLANNING ADDENDUM	AIUL	ADP
S2 P 4	05.04.23	PLANNING UPDATES	SH	ADP

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JOB TITLE:  
**CRADLEY HEATH SKILLS HUB**

DRAWING TITLE:  
**PROPOSED ELEVATIONS**

SCALE:	DRAWING SHEET SIZE:
As indicated	A1
JOB CODE: <b>001473</b>	DRAWING NUMBER: <b>ADP-00-ZZ-DR- A-1211</b>
REVISION: <b>S2 P 4</b>	



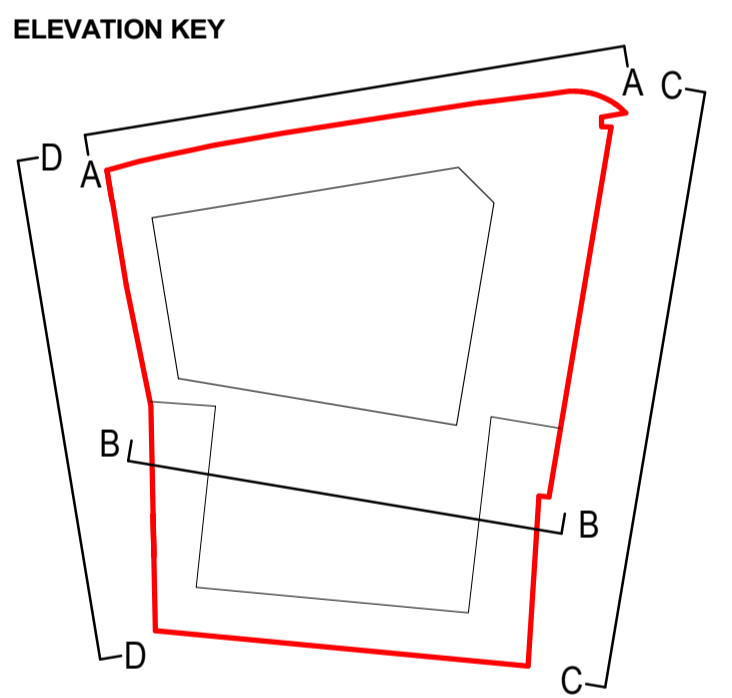
**A NORTH ELEVATION**  
1 : 100



**B SOUTH ELEVATION**  
1 : 100

**NOTE**  
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- MATERIALS KEY**
- ① FACING BRICK
  - ② PERFORATED METAL SPANDREL PANEL WITH CHAIN MOTIF
  - ③ METAL LOUVRE
  - ④ METAL PLANT SCREEN
  - ⑤ HIT-AND-MISS FEATURE BRICK
  - ⑥ SPANDREL PANEL WITH CHAIN MOTIF



**STAGE 3**

0 5 m

REVISION	DATE	DESCRIPTION	ARCHITECT	PARTNER
S2 P 1	22.11.22	PLANNING SUBMISSION	SC	ADP
S2 P 2	21.12.22	FOR REVIEW	ADP	ADP
S2 P 3	28.02.23	PLANNING ADDENDUM	AIUL	ADP
S2 P 4	05.04.23	PLANNING UPDATES	SH	ADP

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**JOB TITLE:**  
CRADLEY HEATH SKILLS HUB

**DRAWING TITLE:**  
PROPOSED ELEVATIONS

SCALE:		DRAWING SHEET SIZE:
As indicated		A1
JOB CODE:	DRAWING NUMBER:	REVISION:
001473	ADP-00-ZZ-DR- A-1210	S2 P 4



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**NOTE:** FOR PROPOSED LANDSCAPE SCHEME PLEASE REFER TO LANDSCAPE DRAWINGS

**STAGE 3**

0 5 m

REVISION	DATE	DESCRIPTION	ARCHITECT	PARTNER
S2 P 1	22.11.22	PLANNING SUBMISSION	SC	ADP
S2 P 2	21.02.23	Pavement layout updated	SH	ADP
S2 P 3	28.02.23	PLANNING ADDENDUM	AIUL	ADP

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JOB TITLE:  
**CRADLEY HEATH SKILLS HUB**

DRAWING TITLE:  
**PROPOSED GROUND FLOOR PLAN**

SCALE: <b>1 : 100</b>	DRAWING SHEET SIZE: <b>A1</b>
JOB CODE: <b>001473</b>	REVISION: <b>S2 P 3</b>
DRAWING NUMBER: <b>ADP-00-GF-DR-- A-1030</b>	



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**STAGE 3**

0 5 m

REVISION	DATE	DESCRIPTION	ARCHITECT	PARTNER
S2 P 1	22.11.22	PLANNING SUBMISSION	SC	ADP
S2 P 2	21.02.23	Pavement layout updated	SH	ADP
S2 P 3	28.02.23	PLANNING ADDENDUM	AI/UL	ADP
S2 P 4	13.03.23	Outbuildings roofs updated	AI	ADP
S2 P 5	05.04.23	PLANNING UPDATES	SH	ADP

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JOB TITLE:  
**CRADLEY HEATH SKILLS HUB**

DRAWING TITLE:  
**PROPOSED FIRST FLOOR PLAN**

SCALE: <b>1 : 100</b>	DRAWING SHEET SIZE: <b>A1</b>
JOB CODE: <b>001473</b>	DRAWING NUMBER: <b>ADP-00-01-DR- A-1031</b>
REVISION: <b>S2 P 5</b>	



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**STAGE 3**

0 5 m

REVISION	DATE	DESCRIPTION	ARCHITECT	PARTNER
S2 P 1	01.08.22	FOR REVIEW	ADP	ADP
S2 P 2	22.11.22	PLANNING SUBMISSION	SC	ADP
S2 P 3	21.02.23	Pavement layout updated	SH	ADP
S2 P 4	28.02.23	PLANNING ADDENDUM	AIUL	ADP
S2 P 5	13.03.23	Outbuildings roofs updated	AI	ADP
S2 P 6	05.04.23	PLANNING UPDATES	SH	ADP

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JOB TITLE:  
**CRADLEY HEATH SKILLS HUB**

DRAWING TITLE:  
**PROPOSED SECOND FLOOR PLAN**

SCALE: <b>1 : 100</b>	DRAWING SHEET SIZE: <b>A1</b>
JOB CODE: <b>001473</b>	DRAWING NUMBER: <b>ADP-00-02-DR- A-1032</b>
REVISION: <b>S2 P 6</b>	

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**STAGE 3**

0 5 m

REVISION	DATE	DESCRIPTION	ARCHITECT	PARTNER
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S2 P 2	17.02.23	MEP information shown	SH	ADP
S2 P 3	21.02.23	Pavement layout updated	SH	ADP
S2 P 4	09.03.23	Planning updates	SH	ADP
S2 P 5	13.03.23	Outbuildings roofs updated	AI	ADP
S2 P 6	05.04.23	PLANNING UPDATES	SH	ADP

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JOB TITLE:  
**CRADLEY HEATH SKILLS HUB**

DRAWING TITLE:  
**PROPOSED ROOF PLAN**

SCALE: <b>1 : 100</b>	DRAWING SHEET SIZE: <b>A1</b>	
JOB CODE: <b>001473</b>	DRAWING NUMBER: <b>ADP-00-R1-DR- A-1033</b>	REVISION: <b>S2 P 6</b>



LEGEND

RED LINE BOUNDARY

BOUNDARY TREATMENT

VERTICAL SLAT METAL FENCE, DESIGN TBC

EXISTING PANEL FENCE

TIMBER FENCE

BESPOKE VEHICLE RESTRAINT, DESIGN TBC

KERBS & EDGING

TK TRANSITION KERB

FK FLUSH KERB

K FLAT TOP KERB

DK DROP KERB

DW KERB/ DROP WALL 300mm

HARD LANDSCAPE

TARMAC

BLOCK PAVING

SOFT LANDSCAPE

PLANTING

EXISTING SHRUBS/ OVERGROWTH

PROPOSED TREES

EXISTING TREES/VEGETATION TO BE RETAINED



STAGE 03

0 5 m

REVISION	DATE	DESCRIPTION	ARCHITECT	PARTNER
S2 P1	03/10/22	ISSUE FOR REVIEW	CM	ADP
S2 P2	20/10/22	ISSUE FOR REVIEW	CM	ADP
S2 P3	04/11/22	ISSUE FOR REVIEW	MD	ADP
S2 P4	09/11/22	ISSUE FOR REVIEW	FL	ADP
S2 P5	30/11/22	RETAINED EXISTING TREES ADDED	LG	ADP
S2 P6	28/02/23	PLANNING ADDENDUM	MD	ADP
S2 P7	06/03/23	PLANNING ADDENDUM	MD	ADP

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JOB TITLE:  
**CRADLEY HEATH  
SKILLS HUB**

DRAWING TITLE:  
**LANDSCAPE GA**

SCALE: **1:100** DRAWING SHEET SIZE: **A1**

JOB CODE: **001473** DRAWING NUMBER: **ADP-00-00-DR- L-1900** REVISION: **S2 P7**

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## Report to Planning Committee

**10 May 2023**

<b>Application Reference</b>	DC/23/67838
<b>Application Received</b>	3 <sup>rd</sup> January 2023
<b>Application Description</b>	Proposed Phase 1 - Conversion and change of use of existing barn 1 into cafeteria and natural play area, proposed single storey building containing support facilities (toilets, kitchen, lobby and draft lobby, classroom, stores and plantroom). Phase 2 - Proposed single storey education block containing 2 no. (30/40 students) classrooms and cloakroom area.
<b>Application Address</b>	Forge Mill Farm, Forge Lane, West Bromwich, B71 3SZ
<b>Applicant</b>	Mr Matthew Huggins, Sandwell Council
<b>Ward</b>	Newton
<b>Contact Officer</b>	William Stevens <a href="mailto:William_Stevens@sandwell.gov.uk">William_Stevens@sandwell.gov.uk</a>

### 1 Recommendations

1.1 Subject to no adverse comments from the Head of Highways, and subject to ratification at Full Council, that planning permission is granted subject to conditions relating to:

- i) Drainage/SUDS details,
- ii) Car park management plan,




- iii) External materials,
- iv) Extraction equipment,
- v) Low Nox Boilers, and
- vi) Archaeological findings.

## 2 Reasons for Recommendations

2.1 Despite the proposal being within the Green Belt, the proposed development is a small part of the future wider redevelopment of Forge Mill Farm, bringing jobs and education facilities to Sandwell as well as recreation opportunities that can be used all year round.

## 3 How does this deliver objectives of the Corporate Plan?

	A strong and inclusive economy
---	--------------------------------

## 4 Context

4.1 Before your last Planning Committee, Members visited the site, but the determination of this application was deferred for additional information which has now mainly been received. Members will be verbally updated on outstanding issues.

4.2 To assist members with site context, a link to Google Maps is provided below:

[Forge Mill Farm, Forge Lane, West Bromwich](#)

## 5 Key Considerations

5.1 The site is within a Green Belt allocation.

5.2 The material planning considerations which are relevant to this application are: -



Government policy (NPPF)  
 Proposals in the Development Plan  
 Traffic generation

## 6. The Application Site

6.1 The application site is situated on the eastern side of Forge Lane and relates to Forge Mill Farm, within the Green Belt. To east is the River Tame, and to the south is Forge Mill Car Park, and further south is Swan Pool Car Park, and Sandwell Valley Sailing Club.

## 7. Planning History

7.1 The application site been used as some sort of education needs since 1983 (planning applications DD/16371 and DD/16372). In 1985, a toilet block and farm shop were approved (DD/19040).

7.2 Almost twenty years ago a steel framed hay barn and cattle shed was built (DC/04/42795) which was cladded in fire protection material in 2007 (DC/07/48384).

7.3 Relevant planning applications are as follows:

DC/17/60630	Proposed flood defence works (Phase 2 of the proposed Perry Barr and Witton flood risk management scheme) to include construction of a flood storage embankment, spillway, control building, cycle path and access track, fencing, CCTV and associated works.	Grant Permission Subject to Conditions  31/08/2017
DC/16/59398	Request for scoping opinion for the Forge Mill part of the proposed Perry Barr and Witton flood risk management scheme.	Scoping Opinion  17/05/2016



DC/16/59152	Proposed re-siting of open sided hay barn and cattle shed.	Withdrawn 23/02/2016
DC/07/48384	Proposed cladding as fire protection to existing fire-damaged hay barn.	Prior Approval is Required and Granted 21/09/2007
DC/04/42795	Construction of steel framed hay barn and cattle shed.	Grant Permission 20/09/2004
DD/00/36368	Construction of steel framed hay storage barn.	Grant Permission 14/04/2000
DD/19040	Toilet block and farm shop/ refreshments servery buildings for farm visitors	Deemed Approved 17/07/1985
DD/16372	Redevelopment of Forge Hill Farm into a Farm Interpretation Centre, based on dairy herd with educational facilities and public access.	Deemed Approved 03/10/1983
DD/16371	Conversion & adaption of Old Hill building into seminar/ class room/ exhibition space with access for school children and the public. (part of farm interpretation centre)	Deemed Approved 03/10/1983



## 8. Application Details

- 8.1 The applicant proposes to increase visitor numbers to the farm and provide a variety of activities on site. This proposal incorporates two phases, namely Phase 1 and 2.
- 8.2 Proposed Phase 1 includes the conversion and change of use of existing barn 1 into a cafeteria and natural play area, proposed single storey building containing support facilities (toilets, kitchen, lobby and draft lobby, classroom, stores and plantroom).
- 8.3 The conversion of the existing barn would be extended to include a natural play area.
- 8.4 The applicant has described the natural play area as:

*'Natural play' is a type of indoor play focused around experience, natural materials, organic spaces and themed areas that involve different play experiences from active play to role-play and everything in between. The principle is to bring the benefits of outdoor play inside to improve access to play opportunities all year round. Natural play is different to the commonly known 'soft play' in that it uses natural materials and incorporates concepts and themes specific to Forge Mill Farm to create more imaginative play rather than the over commercialised brightly coloured, padded plastics and vinyl, typically found in urban based play centres.*

*The natural play provision within the new facility will only be available to those visiting the farm and will not form a stand-alone visit ensuring that those accessing the facility will also be accessing the outdoors and the other experiences on offer at the farm.*



## 8.5 Examples of natural play





- 8.6 Proposed Phase 2 includes a new build classroom. The applicant has stated that the reason behind the new school classrooms is:

*To further meet the wider objectives of Forge Mill Farm ...the development of a new classroom structure in keeping with the rest of the farm to facilitate the education and outreach program in place at Forge Mill farm, Sandwell Valley Country Park and other green spaces within Sandwell. By 2028 the farm is aiming to host 500 school visits per year, however, currently it does not have any accessible or suitable facilities to safely and reliably accommodate for visiting students.*

*Work for phase 2 of the project will begin after phase 1 of the project is completed, open to the public and operating as planned.*

- 8.7 The proposal for both Phases 1 and 2, it is anticipated to create approximately nine new full-time jobs, and parking for visitors would be expected at the two car parks south of the site.



## 9. Publicity

- 9.1 The application has been publicised by site and press notice without response.

## 10. Consultee responses

### 10.1 Planning Policy

The proposal is a departure from the Development Plan as it is contrary to one or more provisions of the development plan.

The indoor play area and café, and classrooms raises issues under the NPPF and Adopted SAD DPD Green Belt policy as they are inappropriate development in the Green Belt. The indoor play area and café are also contrary to Centres policy, which aim to regenerate Sandwell's town centres.

### 10.2 Highways

Highways have requested further information and Members will be verbally updated at the meeting.

### 10.3 Canal and Rivers Trust

No comments to make.

### 10.4 Lead Local Flood Authority (LLFA)

Further information has been sent to the LLFA. Whilst they recommend that this is provided before the application is determined, this can be conditioned accordingly.

### 10.5 Severn Trent

Drainage plans required via condition of any approval.





## 10.6 Urban Design Officer

No objection, the proposal fits in with the current setting.

## 10.7 West Midlands Police

Has recommended CCTV and external lighting to aid security. Whilst not conditioned, if the applicant decided to improve the security of the site, the Council would look favourably on sensitively designed schemes.

## 10.8 Birmingham Wildlife Trust

No objections have been raised.

## 11. National Planning Policy

11.1 National Planning Policy Framework promotes sustainable development but states that local circumstances should be taken into account to reflect the character, needs and opportunities for each area.

11.2 Section 13 of the NPPF, in particular paragraph 137 states that *'the fundamental aim of Green Belt policy is to prevent urban sprawl by keeping land permanently open; the essential characteristics of Green Belts are their openness and their permanence'*. In addition to this, paragraph 149 states that local planning authorities should regard construction of new buildings as inappropriate in the Green Belt. Exceptions which are relevant to this proposal and Sandwell are:

- a) Buildings for agriculture and forestry;
- b) The provision of appropriate facilities (in connection with the existing use of the land...) for outdoor sport, outdoor recreation, cemeteries and burial grounds and allotments; as long as the facilities preserve the openness of the Green Belt and do not conflict with the purposes of including the land within it;



c) The extension or alteration of buildings, provided that it does not result in disproportionate additions over and above the size of the original building;

d), e) and f) are not applicable in this case)

And

g) Limited infilling or the partial or complete redevelopment of previously developed land, whether redundant or in continuing use (excluding temporary buildings) would:

- not have a greater impact on the openness of the Green Belt than the existing development;

The key starting point is whether these buildings would have detrimental effect on the openness of the Green Belt, in particular in terms of their size and location. Comparing the existing aerial photograph (Figure 1 overleaf) with what is proposed clearly shows the site has been significantly developed, and the proposed extension and new build, in particular the new classrooms would be situated on previously developed land and the extension to the barn is a modest single storey structure. Therefore, it is considered that the development itself, would not harm the openness of the Green Belt in this location.

Turning to the proposed uses, namely an indoor play area with ancillary café, toilets and an education facility. These uses clearly fall outside the definitions referred to above. Notwithstanding this, the ethos of this proposal is linked to encouraging children and young people to value agriculture and the outdoors within a learning environment. The play facilities as referred to in Paragraph 8.5 above shows that this facility will be aligned with natural play and learning about farming and agriculture. Again, the education facility will be integrated into an outdoor experience of the working farm. It is therefore considered that these uses, are very much aligned with the ethos of outdoor recreation and agricultural farming. In addition, it can align with other policy objectives, such as getting young people into the countryside, environmental and nature conservation education, healthy outdoor sports and recreation etc. In conclusion, it is considered that this justifies the proposed in terms of Green Belt policy.





Figure 1 – Aerial photo of the site in context to the wider Green Belt

11.5 Paragraph 87 of the NPPF states indoor play/leisure facilities should fall within 'Main Town Centres'. Therefore, if the proposals were considered purely as leisure uses in isolation of Forge Farm, it would be contrary to this policy. In my opinion the existing Farm and the proposed uses are not separate. Further discussion is set out within local policy (CEN4) in Section 12 below.



11.6 Paragraph 124 refers to good design, taking into account the views of the Council's Urban Design officer, I am of the opinion that the scheme is of a good design.

## 12. Local Planning Policy

12.1 The following policies of the council's Development Plan are relevant:

CEN4: Regeneration of Town Centre

ENV1: Nature Conservation

ENV5: Flood Risk

ENV8: Air Quality

SAD HE5: Archaeology & Development Proposals.

12.2 CEN4 is aligned with national policy in relation to leisure uses being located with Town Centres, this is to support their regeneration. As referred to above this proposal is a recreation use to support the activities associated with Forge Farm and the intended use of this play facility would be combined with a visit to the learn about the workings of the Farm and also re-enforced with the natural play facility that is proposed. To this effect, it is considered the use would not be contrary to CEN4 given the bespoke nature of the proposal.

12.3 ENV1: The proposal is in a Site of Importance for Nature Conservation (SINC) and a Local Nature Reserve (LNR) and a phase 1 ecology investigation had taken place. Members will be updated accordingly.

12.3 Under the Air Quality SPD & BCCS ENV8, any new parking spaces should provide 10% electric vehicle charge points (however no new parking is proposed in this scheme). If gas boilers are part of the development, they should be specified as low NOx types.

12.4 ENV5 Flood Risk, Sustainable Drainage Systems and Urban Heat Island requires permeable paving /parking areas to reduce surface water run off rates. An interception method (i.e. swale) should be considered, and



as Forge Farm is locally listed, the Conservation Officer can advise on this aspect along with the LLFA should it be conditioned.

12.5 HE5, the proposal is in an Area of Potential Archaeological Importance and a condition informing the local planning authority of any discoveries on site will be attached to any approval.

### 13. Material Considerations

13.1 National and local planning policy considerations have been referred to above in Sections 11 and 12. With regards to the other material considerations, these are highlighted below:

#### 13.2 Access, highway safety, parking, servicing and traffic generation

Members will be verbally updated.

### 14 Alternative Options

14.1 Refusal of the application is an option if there are material planning reasons for doing so. In my opinion the proposal is compliant with relevant polices and there are no material considerations that would justify refusal.

### 15 Implications

<b>Resources:</b>	When a planning application is refused the applicant has a right of appeal to the Planning Inspectorate, and they can make a claim for costs against the Council.
<b>Legal and Governance:</b>	This application is submitted under the Town and Country Planning Act 1990.
<b>Risk:</b>	None.
<b>Equality:</b>	There are no equality issues arising from this proposal and therefore an equality impact assessment has not been carried out.



<b>Health and Wellbeing:</b>	None.
<b>Social Value</b>	None.
<b>Climate Change</b>	Sandwell Council supports the transition to a low carbon future, in a way that takes full account of the need to adapt to and mitigate climate change. Proposals that help to shape places in ways that contribute to radical reductions in greenhouse gas emissions, minimise vulnerability and improve resilience; encourage the reuse of existing resources, including the conversion of existing buildings; and support renewable and low carbon energy and associated infrastructure, will be welcomed.

## 16. Appendices

Context Plan

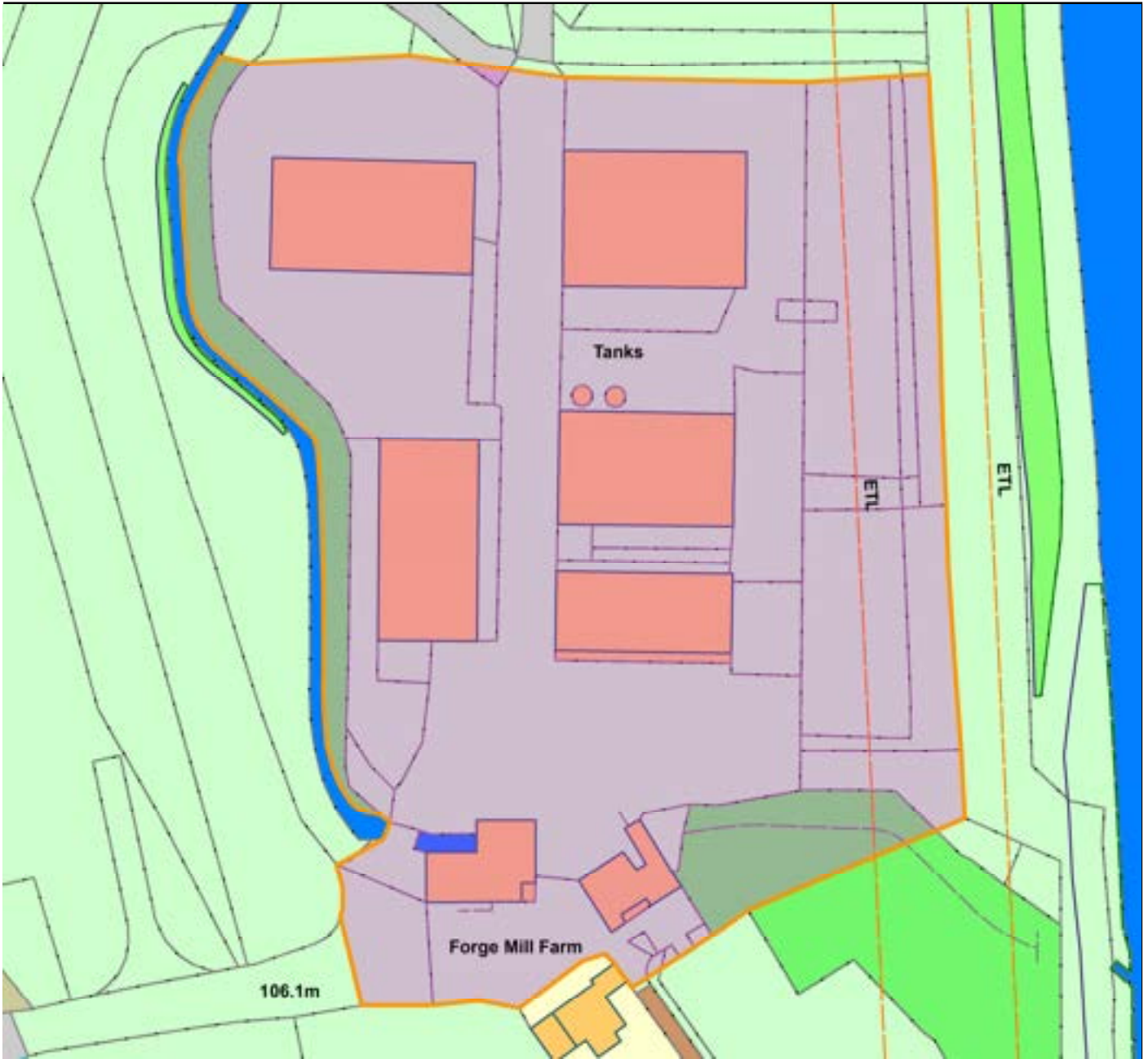
Site layout

Proposed elevations

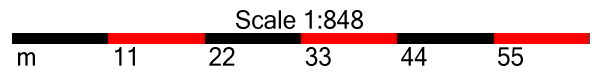
Proposed floor plans



DC/23/67838  
Forge Mill Farm, West Bromwich



**Legend**



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Ordnance Survey Licence No 100023119

<b>Organisation</b>	Not Set
<b>Department</b>	Not Set
<b>Comments</b>	Not Set
<b>Date</b>	27 January 2023
<b>OS Licence No</b>	

**FUTURE OUTSIDE PLAY AREA**

Existing outside seating area

**NEW SINGLE STOREY FACILITIES BLOCK**

**CONVERSION OF EXISTING BARN TO NATURAL PLAY / CAFE BARN**

Existing activity area

Summer Overflow Parking Field  
120-140 spaces

**ANIMAL EXPERIENCE BARN**

**TRACTOR TRAIL**

Field

Car Park

Car Park

bund

bund

bund

bund

Farm Yard

Storage Barn

Event Barn

Animal Pen

Tanks

Animal Barn

Food Display Education

Shop

Toilets

House

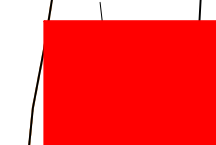
Farm Plant / Parking

Play Area

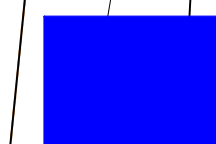
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10m 5m 0m Scale 1:500 @ A1 50m

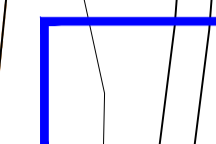
**Building Legend for Application**



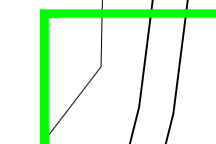
New Building Area



Existing Building  
Change of Use Area



Existing Buildings Future  
Change of Use Areas



Existing Buildings Future  
Refurbishment of Buildings

Possible location of septic tank

**FUTURE CONVERSION OF EXISTING BARN TO EVENTS BARN & STORAGE BARN**

**FUTURE CONVERSION OF EXISTING BARN TO FOOD EDUCATION & DISPLAY BARN**

**NEW SINGLE STOREY - 2 No. 30-40 person CLASSROOMS + CLOAKROOM BLOCK**

Shop refurbished, new entrance / exit flow route

Toilets increased and refurbished

New screened recycling bins

Existing Refreshments Farm Wagon (supports other activity customers using car park)

**EXISTING OUTSIDE PLAY / SEATING AREA TO BE UPGRADED IN FUTURE**

A Application Boundary Revised dph 12/01/2023  
REVISION AMENDMENT INTL DATE

- SCHEME DESIGN
- PRELIMINARY
- CONTRACT
- PLANNING
- BLDG REGS.
- TENDER
- CONSTRUCTION
- RECORD DRGS

CLIENT SMBC Urban Design

PROJECT Forge Mill Farm  
Sandwell Valley

TITLE Proposed Building  
Site Layout Plan

DRG BY dph CHK BY dph

DATE December 2022 SCALE 1/500 @ A1

JOB No. 846 DRG No. 011 REV. A

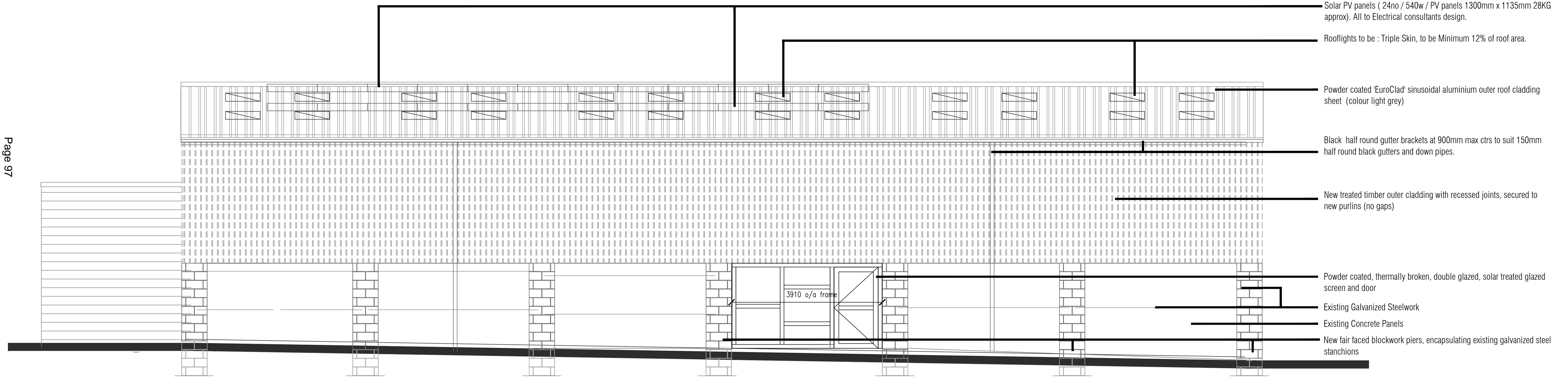


**DP Design Partnership**  
DP Design Partnership, West Midlands, F10 2JE, UK. Tel: 0121 414 0100  
Tel: 0121 414 0100 Fax: 0121 414 0101 WWW: www.dpdesignpartnership.com

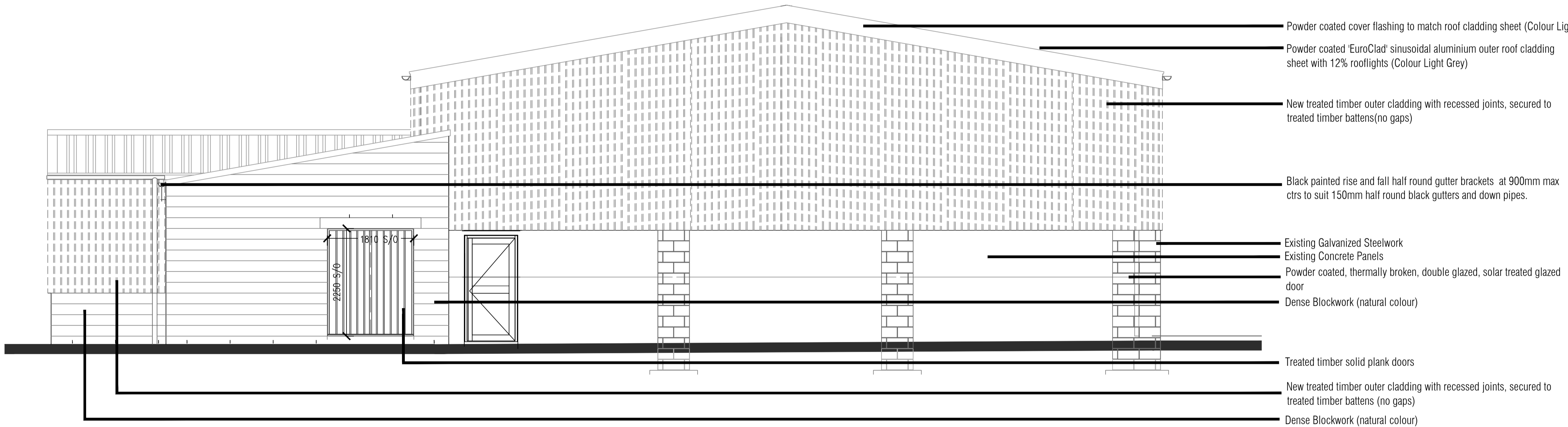
Indicative only

Page 96





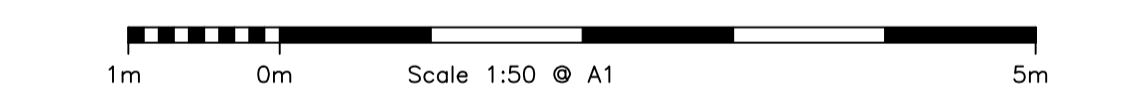
Elevation facing South



Elevation facing West

- Solar PV panels ( 24no / 540w / PV panels 1300mm x 1135mm 28KG approx). All to Electrical consultants design.
- Rooflights to be : Triple Skin, to be Minimum 12% of roof area.
- Powder coated 'EuroClad' sinusoidal aluminium outer roof cladding sheet (colour light grey)
- Black half round gutter brackets at 900mm max ctrs to suit 150mm half round black gutters and down pipes.
- New treated timber outer cladding with recessed joints, secured to new purlins (no gaps)
- Powder coated, thermally broken, double glazed, solar treated glazed screen and door
- Existing Galvanized Steelwork
- Existing Concrete Panels
- New fair faced blockwork piers, encapsulating existing galvanized steel stanchions

- Powder coated cover flashing to match roof cladding sheet (Colour Light Grey)
- Powder coated 'EuroClad' sinusoidal aluminium outer roof cladding sheet with 12% rooflights (Colour Light Grey)
- New treated timber outer cladding with recessed joints, secured to treated timber battens(no gaps)
- Black painted rise and fall half round gutter brackets at 900mm max ctrs to suit 150mm half round black gutters and down pipes.
- Existing Galvanized Steelwork
- Existing Concrete Panels
- Powder coated, thermally broken, double glazed, solar treated glazed door
- Dense Blockwork (natural colour)
- Treated timber solid plank doors
- New treated timber outer cladding with recessed joints, secured to treated timber battens (no gaps)
- Dense Blockwork (natural colour)



A	Building alterations for construction	dph	01-03-2023
REVISION	AMENDMENT	INTL	DATE
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<input type="checkbox"/>	CONTRACT	<input type="checkbox"/>	BLDG REGS.
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<input type="checkbox"/>	CONSTRUCTION	<input type="checkbox"/>	RECORD DRGS

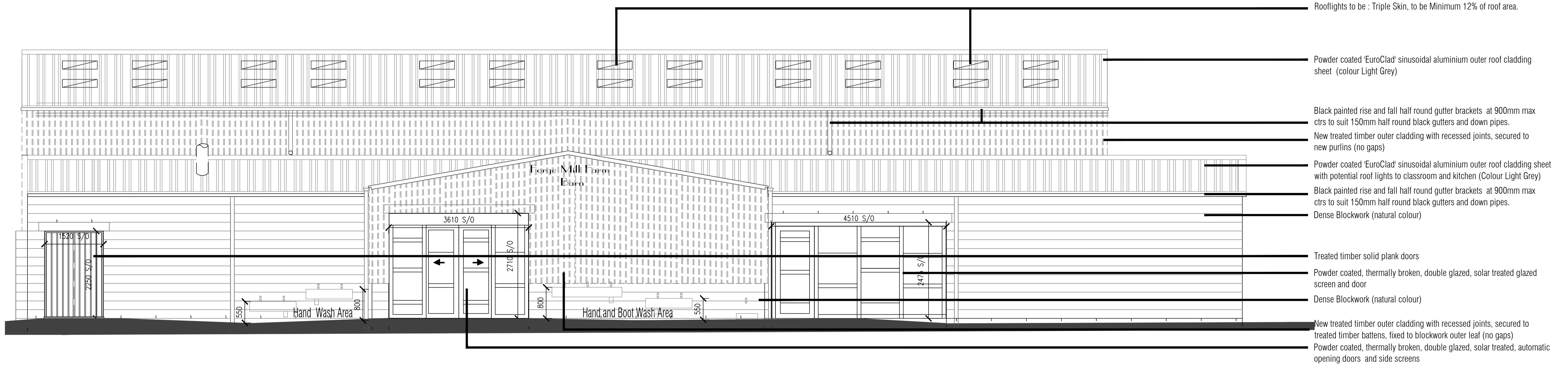
CLIENT SMBC Urban Design  
 PROJECT Forge Mill Farm Sandwell Valley

TITLE Proposed Elevations Barn Building

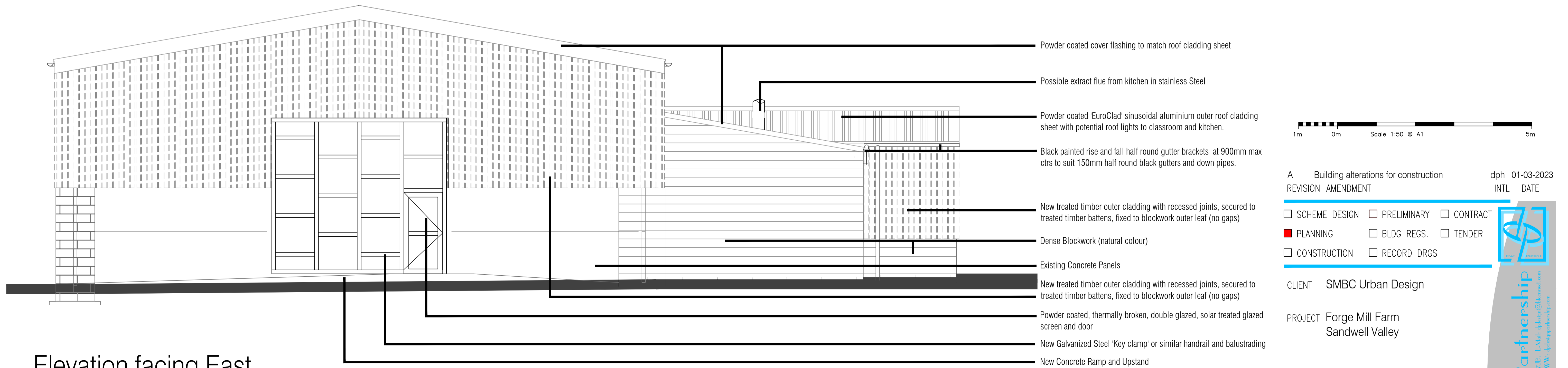
DRG BY dph      CHK BY dph  
 DATE December 2022      SCALE 1/50 @ A1

JOB No. 846      DRG No. 014      REV. A





Elevation facing North



Elevation facing East

A Building alterations for construction dph 01-03-2023  
 REVISION AMENDMENT INTL DATE

- SCHEME DESIGN  PRELIMINARY  CONTRACT
- PLANNING  BLDG REGS.  TENDER
- CONSTRUCTION  RECORD DRGS

CLIENT SMBC Urban Design

PROJECT Forge Mill Farm  
 Sandwell Valley

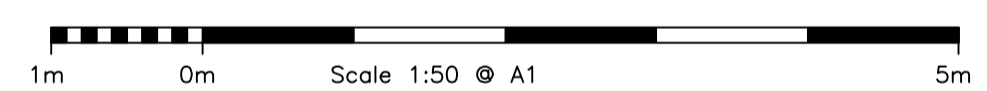
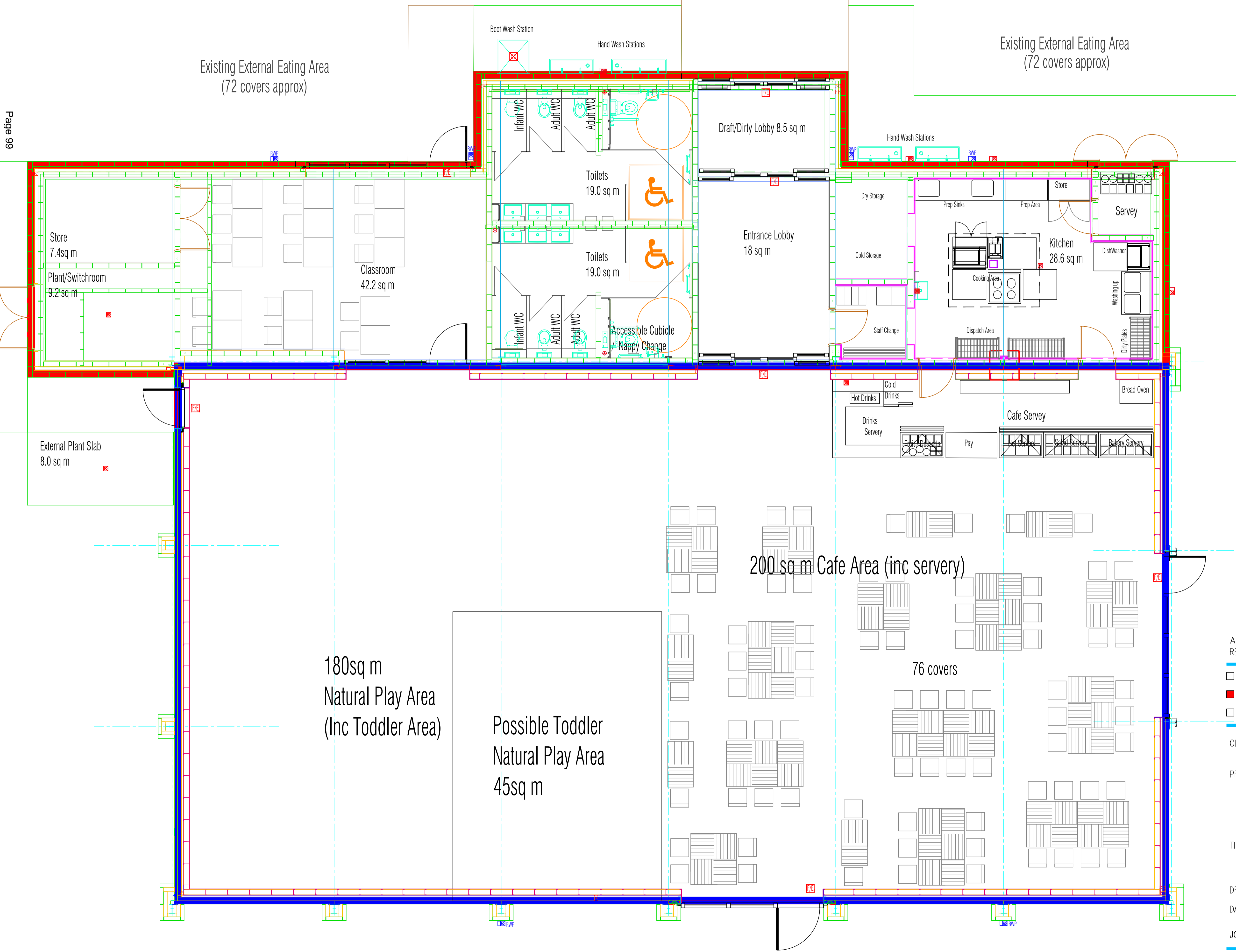
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 Barn Building

DRG BY dph CHK BY dph

DATE December 2022 SCALE 1/50 @ A1

JOB No. 846 DRG No. 013 REV. A





A Building alterations for construction dph 01-03-2023  
 REVISION AMENDMENT INTL DATE

- SCHEME DESIGN
- PRELIMINARY
- CONTRACT
- PLANNING
- BLDG REGS.
- TENDER
- CONSTRUCTION
- RECORD DRGS

CLIENT SMBC Urban Design

PROJECT Forge Mill Farm  
Sandwell Valley

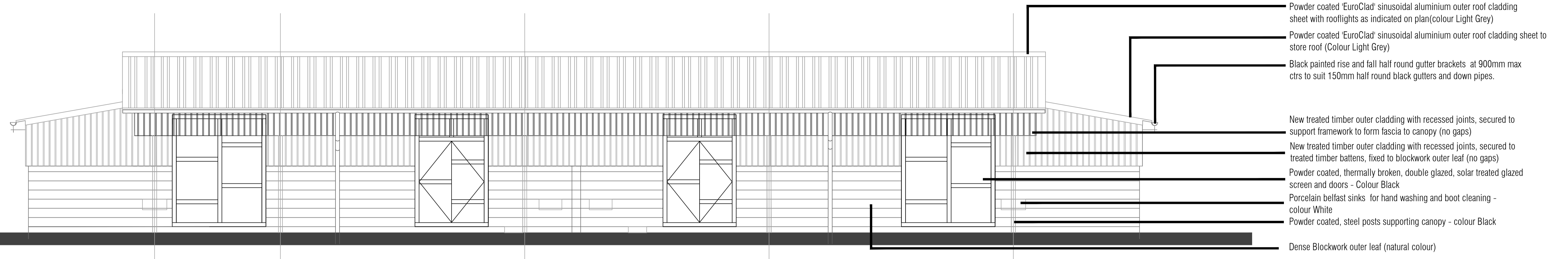
TITLE Proposed Layout Plan  
Barn Building

DRG BY dph CHK BY dph

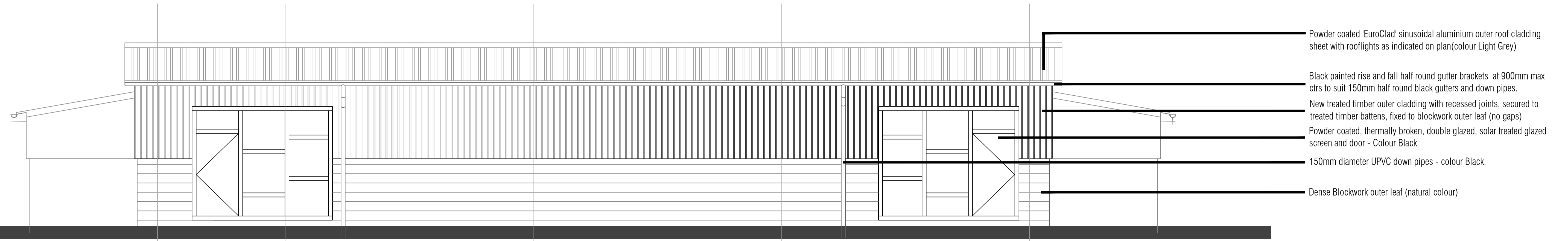
DATE December 2022 SCALE 1/50 @ A1

JOB No. 846 DRG No. 012 REV. A

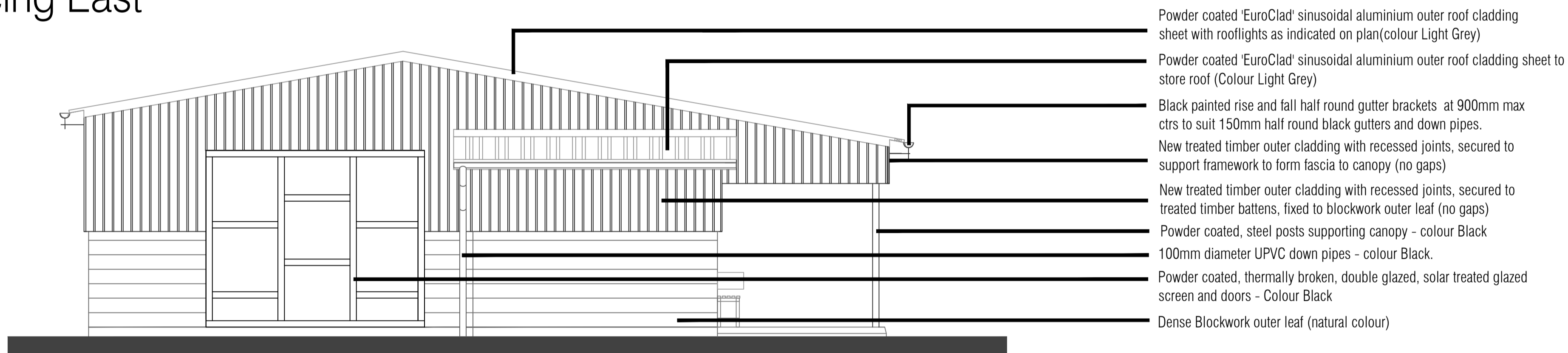




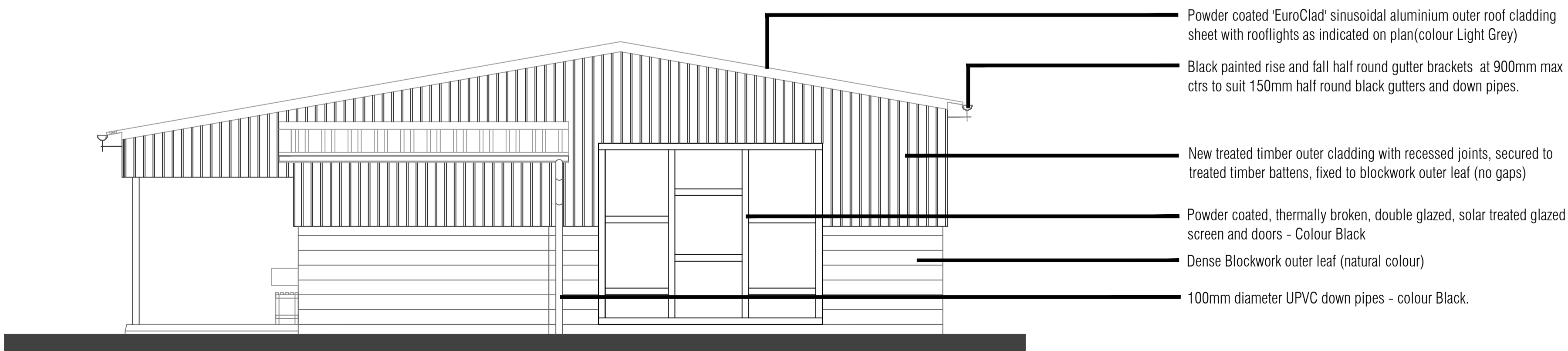
Elevation facing West



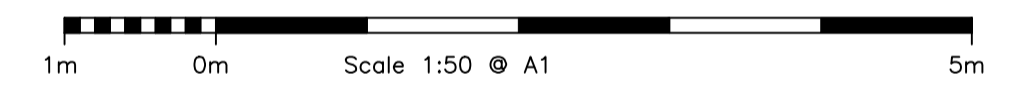
Elevation facing East



Elevation facing North



Elevation facing South



REVISION	AMENDMENT	INTL	DATE		
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CLIENT SMBC Urban Design

PROJECT Forge Mill Farm  
Sandwell Valley

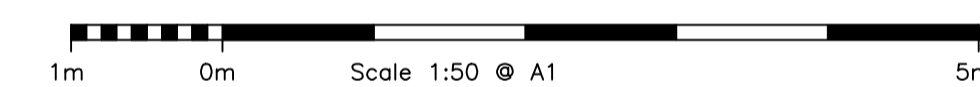
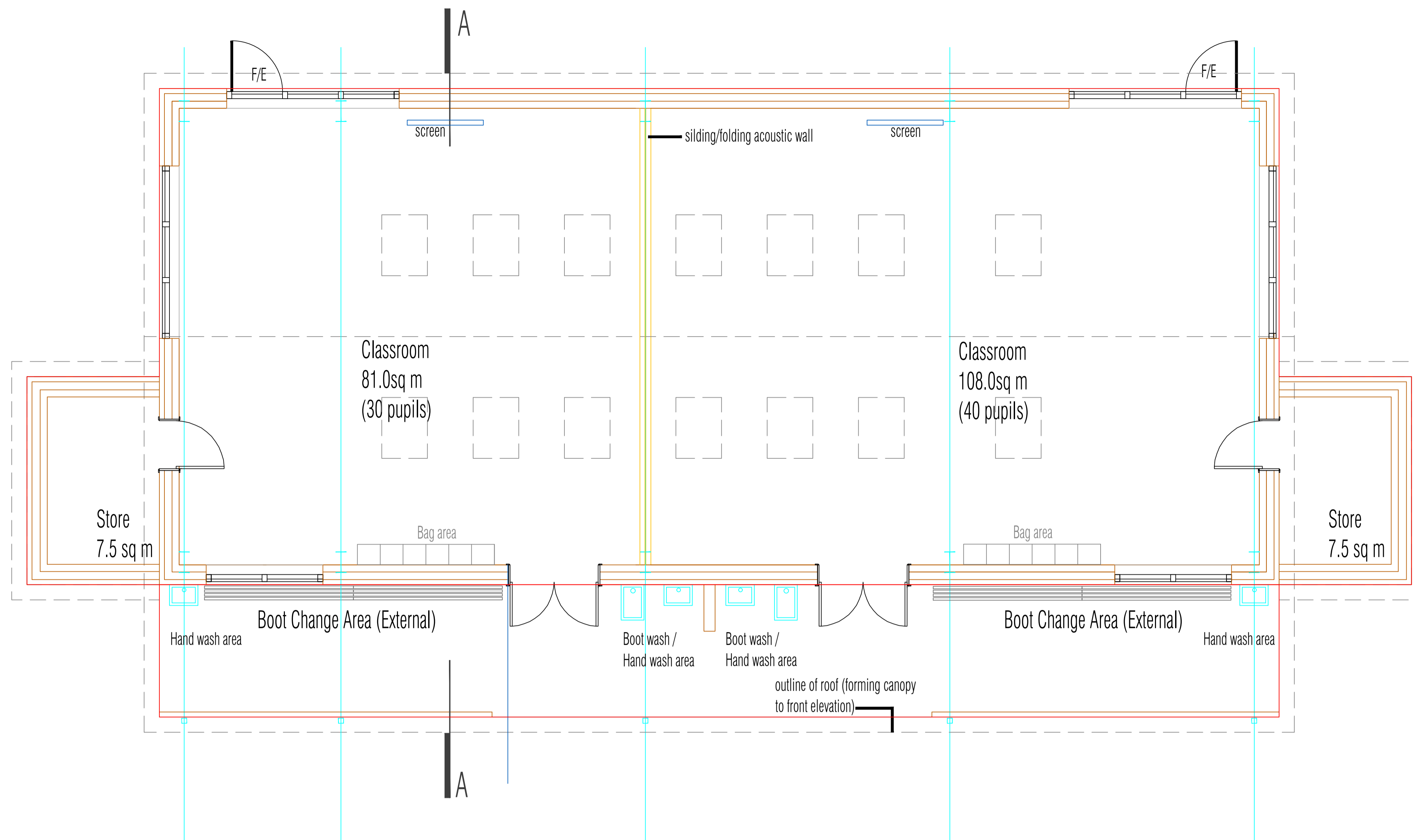
TITLE Proposed Elevations  
Classroom Block

DRG BY dph CHK BY dph

DATE December 2022 SCALE 1/50 @ A1

JOB No. 846 DRG No. 017 REV. -





REVISION AMENDMENT INTL DATE

- SCHEME DESIGN    PRELIMINARY    CONTRACT
- PLANNING    BLDG REGS.    TENDER
- CONSTRUCTION    RECORD DRGS

CLIENT SMBC Urban Design

PROJECT Forge Mill Farm  
Sandwell Valley

TITLE Proposed Layout Plan  
Classroom Block

DRG BY dph      CHK BY dph

DATE December 2022      SCALE 1/50 @ A1

JOB No. **846**      DRG No. **016**      REV. -



**D P Design Partnership**  
 100 Broadwood Road, West Midlands, B70 7JE, UK  
 Tel: 0121 344 5146 Fax: 0121 344 5148 WWW: dpdesignpartnership.com

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## Report to Planning Committee

**10 May 2023**

<b>Application Reference</b>	DC/23/67858
<b>Application Received</b>	6 January 2023.
<b>Application Description</b>	Proposed single and two storey side and rear extension.
<b>Application Address</b>	7 Lochranza Croft, Great Barr, Birmingham, B43 7AA.
<b>Applicant</b>	Mr Narinder Singh.
<b>Ward</b>	Great Barr With Yew Tree.
<b>Contact Officer</b>	Richard Bradley. <a href="mailto:richard_bradley@sandwell.gov.uk">richard_bradley@sandwell.gov.uk</a>

### 1 Recommendations


- 1.1 That planning permission is granted subject to conditions subject to external materials matching the existing property.

### 2 Reasons for Recommendations

- 2.1 The proposal is of a satisfactory design and it is anticipated that the proposal would not cause any significant loss of light, outlook, or privacy issues to the occupiers of the adjacent properties. Additionally, sufficient off-road parking is provided so the proposal would not adversely affect on street parking in the vicinity of the site.



### 3 How does this deliver objectives of the Corporate Plan?

	Quality homes in thriving neighbourhoods
---	--

#### 4 Context

- 4.1 The application was deferred at your last meeting and members resolved to visit the site.
- 4.2 The application had been brought to the attention of your planning committee because three material planning objections have been received. Since your last meeting a petition with 14 signatures has also been received.
- 4.3 To assist members with site context, a link to Google Maps is provided below:

[7 Lochranza Croft, Great Barr, Birmingham, B43 7AA.](#)

#### 5 Key Considerations

- 5.1 The material planning considerations which are relevant to this application are: -

Government policy (NPPF)  
Loss of light and outlook  
Parking  
Character and appearance

#### 6. The Application Site

- 6.1 The application relates to a semi-detached property situated on the southern side of Lochranza Croft, which is a residential no-through road.





## 7. Planning History

7.1 A larger homes extension for this property (ref: PD/22/02217) for a proposed single storey rear extension was refused following neighbour objections, on the grounds that it would contravene the 45-degree code resulting in the loss of light and outlook to neighbouring property.

7.2 Relevant planning applications are as follows:

PD/22/02217	Proposed single storey rear extension measuring: 4.00m L x 4.00m H (2.40m to eaves)	P D Householder required and refused 07.10.2022.
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## 8. Application Details

8.1 It should be noted that subsequent to your last meeting, the planning officer invited the applicant to remove the adjoining first floor extension, but this was declined.

8.2 The application proposes to build a single and two-storey side and rear extension. The proposal would measure as follows: -

Proposed two storey side extension would be 3.0 metres (W), 7.5 metres (L), 5.0 metres to the eaves, and 7.2 metres to the roof in height.

Proposed ground floor rear single storey extension would be built adjacent to an existing ground floor extension and would span across both the existing property and the proposed side extension. The new section would measure 6.0 metres (W), 4.0 metres (L), 2.6 metres to the eaves, and 2.9 metres to the roof in height.

Proposed first floor rear extension would have staggered lengths, with the section nearest to the adjoining property having a length of 1.0 metre, and a width of 2.7 metres. It would then extend out by an additional 2.0 metres, with a width of 6.0 metres. The eaves height for



this extension would be 5.0 metres, while the height to the roof would be 7.2 metres.

## 9. Publicity

9.1 The application has been publicised by neighbour notification letters with three objections and a petition with 14 signatures has been received.

## 9.2 Objections

The objections are on the following grounds:

- i) Loss of light.
- ii) Loss of outlook.
- iii) Insufficient Parking.
- iv) Out of character with the surrounding area.
- v) Overdevelopment of the property.
- vi) Front extension would exceed the building line.
- vii) Poor design (mix of roof shapes as the rear, impacting visual amenity).
- viii) Unduly massing.
- ix) More than 70% of the front garden will be hard surfaced; and
- x) The existing side footpath is only 0.885m, as opposed to the 1m required by the Residential Design Guide.

Additionally, non-material objections have been raised relating to Building Regulations, loss of property value, party wall concerns, loss of view, mess from the construction, the potential need for a crane, construction-related disruptions to neighbours, health conditions, mental wellbeing, pre-existing issues with blocked drains, future internal alterations, no method of construction, and separate developments in the surrounding area.

## 9.3 Responses to objections

I respond to the objector's comments in turn:



- i) The proposed drawings show that the 45-degree code has been complied with for the rear extension, ensuring that loss of light or outlook is not significant. Additionally, the proposed front storey extension has been removed to maintain the symmetry of the property entrances in the street, which also eliminates the wall visible from a neighbour's front room.
- ii) Refer to i) above.
- iii) The initial plans, proposed five bedrooms which required three off-street parking spaces. After submitting a parking plan, the Highways Department objected. The proposal has now been reduced to provide four bedrooms, thereby reducing the required parking spaces back to the existing two spaces. The garage is additionally proposed to be made larger than the existing, allowing for it to be considered as a parking space. These revised plans raised no objection from the Highways Department.
- iv) There is already a two-story side extension within the street and the proposed front extension has been removed, maintaining the symmetry of the property and retaining the existing character of the area.
- v) Sufficient off-street parking and rear garden space would be retained, so the proposal does not result in overdevelopment of the applicant's property.
- vi) The front storey extension has been removed.
- vii) The mix of roof designs will only be visible from the rear gardens of the semi-detached properties and will not have a detrimental impact on the street scene frontage.
- viii) The proposal's massing was considered during the assessment, and the combined extension complies with Council policy and doesn't result in overdevelopment or unduly massing. The new



additions are located away from the street and won't cause issues for neighbouring properties in regard to loss of light or outlook. The Council asked the agent if they would be willing remove part of the rear first-floor extension due to concerns raised by neighbours, but the agent declined, stating that they have already reduced the development, and the referenced section already complies with the 45-degree code, and therefore won't cause the loss of light or outlook to the neighbour.

- ix) The existing garden is already 100% hardstanding.
- x) A standard bin has a width of 0.49m, a standard wheelchair has a width of 0.63m, and a wheelbarrow has a width of 0.61m. Hence, the side entrance of 0.88m is sufficient.

## 10. Consultee responses

### 10.1 Highways

The Highways Department have no objections to the revised drawings refer to 9 (iii) above.

## 11. National Planning Policy

11.1 National Planning Policy Framework promotes sustainable development but states that local circumstances should be taken into account to reflect the character, needs and opportunities for each area.

11.2 The same guidance refers to development adding to the overall quality of the area by achieving high quality design, achieving good architecture and layouts. I am of the opinion that the scheme is of a good design, in accordance with paragraph 124 of the NPPF.

## 12. Local Planning Policy

12.1 The following polices of the Council's Development Plan are relevant:



ENV3: Design Quality  
SAD EOS9: Urban Design Principles

12.2 ENV3 and SAD EOS9 refers to well-designed schemes that provide quality living environments. The proposed design is considered to be acceptable and complies with these policies.

### 13. Material Considerations

13.1 National and local planning policy considerations have been referred to above in Sections 11 and 12. With regards to the other material considerations, these are highlighted below:

#### 13.2 Loss of light and outlook

The extension complies with the 45-degree code, which is designed to prevent unduly harm to adjacent properties. As such, there will be limited impact from light and outlook to the neighbouring properties.

#### 13.3 Parking

The proposal would not result in any parking issues, given that the parking spaces required for the property will remain unchanged, and that the increased garage area would provide an additional parking space. As such, the required two off-street parking spaces will be met and exceeded.

#### 13.4 Out of Character

Following the removal of the front extension, the proposal would be in keeping with the surrounding area, being like another two-storey side extension within the street.



## 14. Non-material considerations

Whilst as general rule we do not provide commentary to non-material considerations because they cannot be considered as part of the decision-making process. The following additional commentary is provided to assist members.

- 14.1 Concerns have been raised regarding the technical construction of the proposal, these matters would be dealt within under Building Regulations if permission is granted. The members are not required to consider technical matters instead whether the extension is acceptable in terms of design and its impact on neighbouring property.
- 14.2 In addition concerns have been raised about ownership rights/party wall matters, this again sits under separate legislation namely the party wall act. The grant of planning permission does not override this and consent to build adjacent the boundary would be required by the neighbouring property under this act and can be challenged.
- 14.3 Matters were raised regarding other developments within the same residential street that were not afforded planning consent for two storey rear extensions. Each planning application is considered on its own merits pertinent to its location and surroundings.

## 15 Alternative Options

- 15.1 Refusal of the application is an option if there are material planning reasons for doing so. In my opinion the proposal is compliant with relevant polices and there are no material considerations that would justify refusal.

## 16 Implications

<b>Resources:</b>	When a planning application is refused the applicant has a right of appeal to the Planning Inspectorate, and they can make a claim for costs against the Council.
-------------------	---



<b>Legal and Governance:</b>	This application is submitted under the Town and Country Planning Act 1990.
<b>Risk:</b>	None.
<b>Equality:</b>	There are no equality issues arising from this proposal and therefore an equality impact assessment has not been carried out.
<b>Health and Wellbeing:</b>	None.
<b>Social Value</b>	None.
<b>Climate Change</b>	Sandwell Council supports the transition to a low carbon future, in a way that takes full account of the need to adapt to and mitigate climate change. Proposals that help to shape places in ways that contribute to radical reductions in greenhouse gas emissions, minimise vulnerability and improve resilience; encourage the reuse of existing resources, including the conversion of existing buildings; and support renewable and low carbon energy and associated infrastructure, will be welcomed.

## 17. Appendices

Amended Parking, Site, And Location Plan - 163(P)01 Rev-G

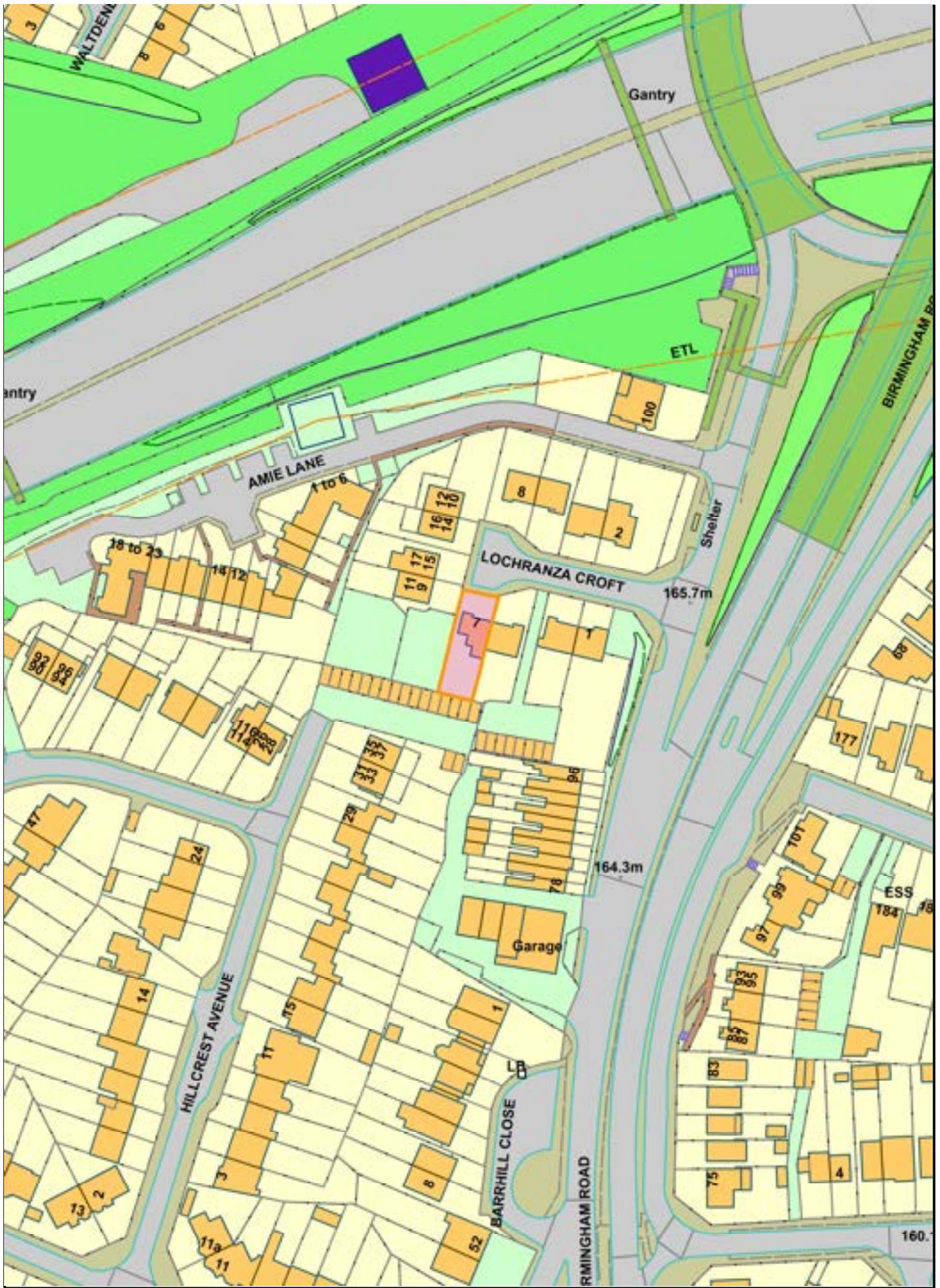
Existing Elevations Plan - 163(P)04 Rev B

Existing Ground/First Floor Plan - 164(P)03 - 1 Rev B

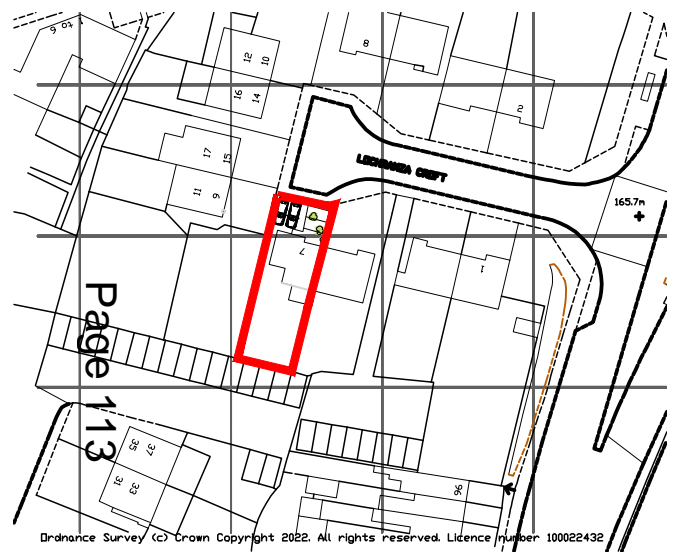
Amended Proposed Elevations Plan - 163(P)05 Rev-E

Amended Proposed Ground/First Floor Plan - 164(P)03 Rev-E

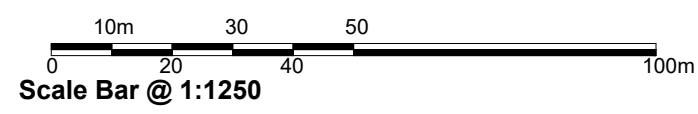




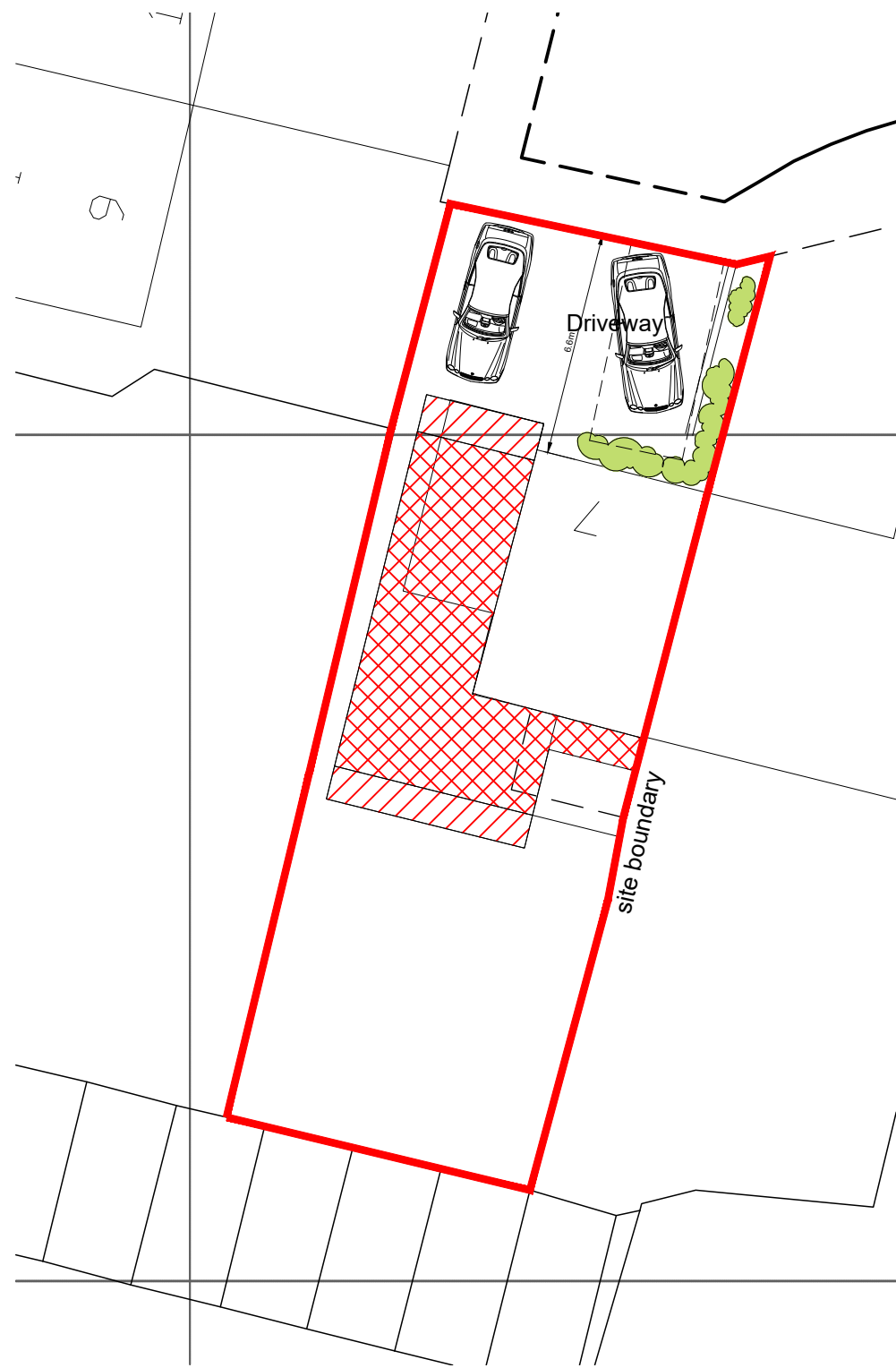




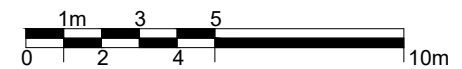
**EXISTING SITE LOCATION PLAN**  
(SCALE 1:1250)



**EXISTING SITE LAYOUT PLAN (Scale 1:200)**



**Scale Bar @ 1:200**



**PROPOSED SITE LAYOUT PLAN (Scale 1:200)**

**IMPORTANT NOTES**  
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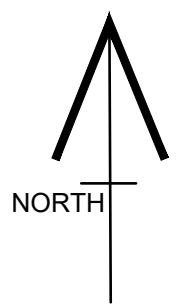
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**KEY**

- First Floor Extension
- Single Floor Extension



revised	mn	01.03.23
R - Parking layout added	aa	01.02.23
D - Notes amended	aa	01.01.22
C - Scale bar added	aa	30.08.22
revision	by	date

status	
PLANNING	
scale	drawn
as shown @ A3	mn
date	approved
22.07.16	aa
title	

**SITE LOCATION/SITE LAYOUT PLANS**

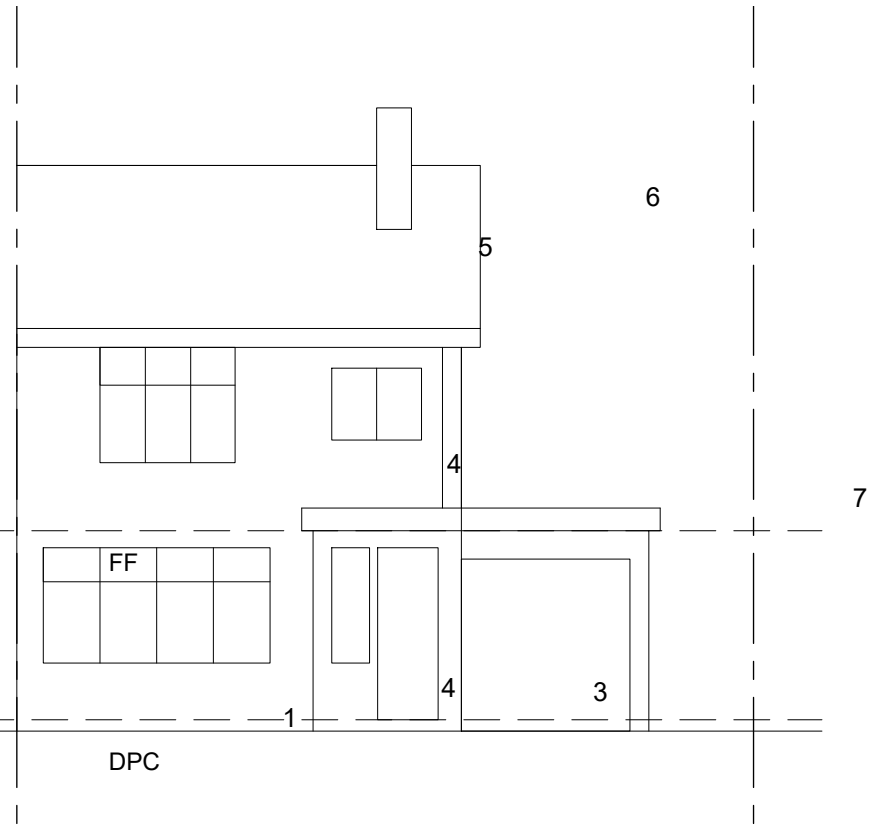
project  
**7 LOCHRANZA CROFT,  
GREAT BARR, B43 7AA**



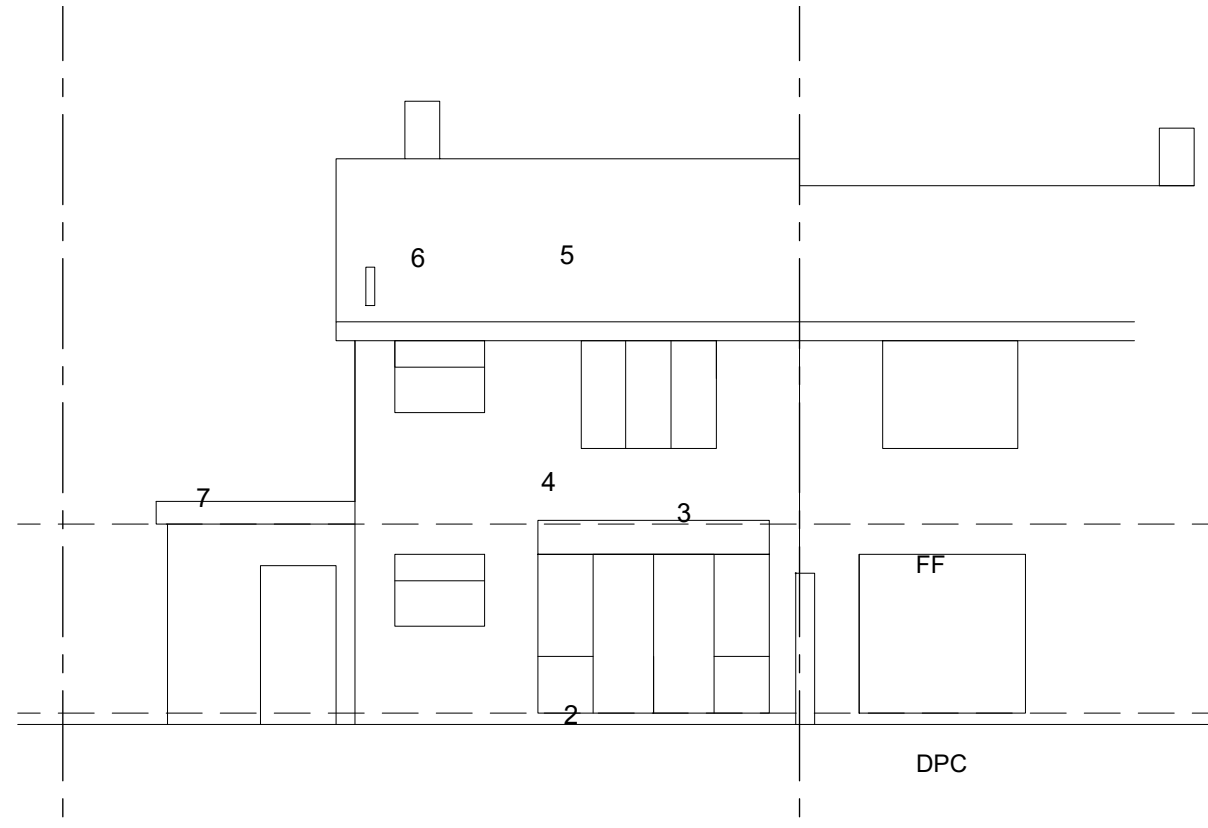
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NAISEN ROAD, SPARKHILL, BIRMINGHAM B11 4DT

drawing number	revision
<b>163(P)01</b>	<b>G</b>



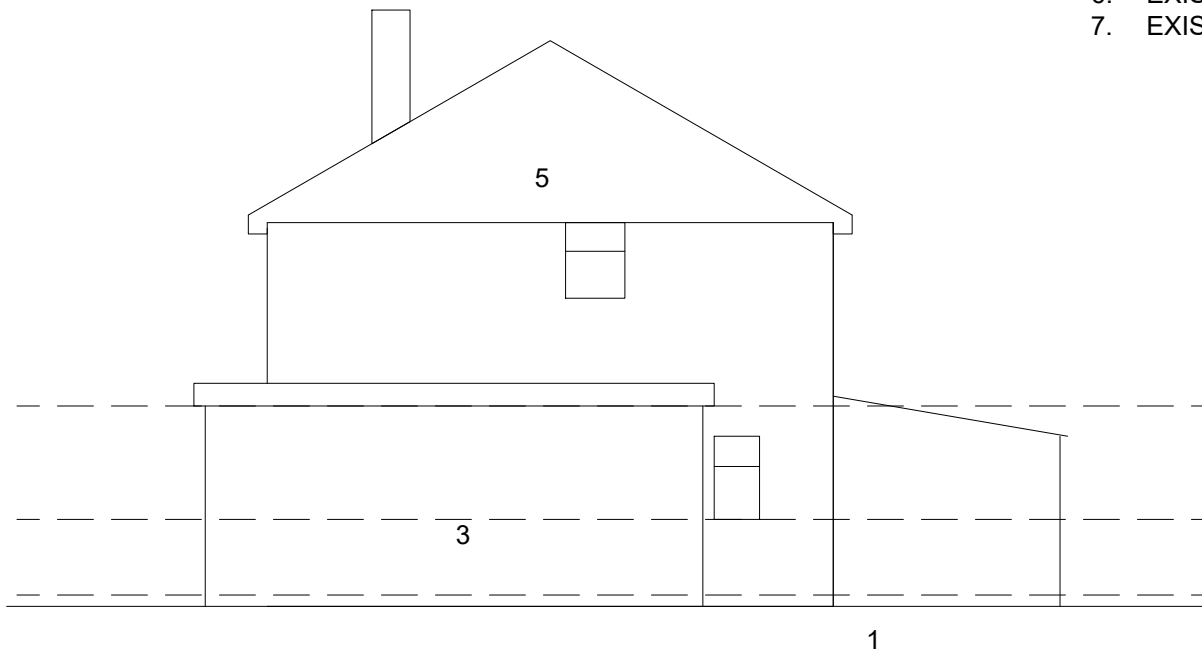
EXISTING FRONT ELEVATION



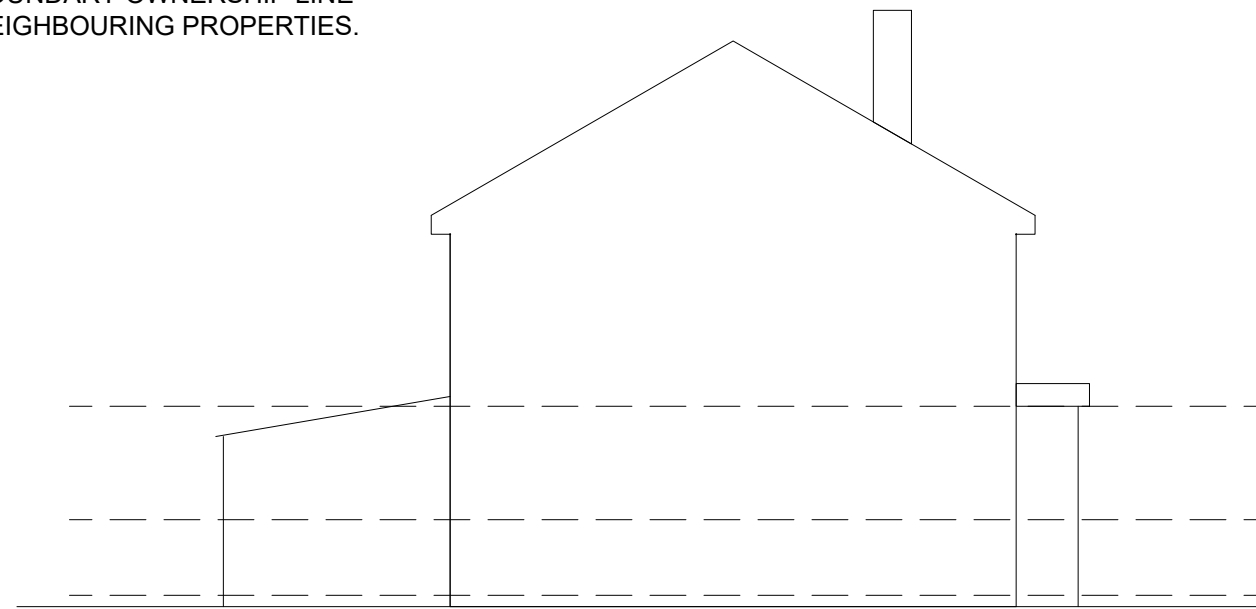
EXISTING REAR ELEVATION

KEY PLAN

1. EXISTING FRONT ENTRANCE
2. EXISTING REAR KITCHEN EXTENSION
3. EXISTING BRICKWORK
4. EXISTING UPVC DOUBLE GLAZED WINDOWS
5. EXISTING CONCRETE ROOF TILES
6. EXISTING BOUNDARY OWNERSHIP LINE
7. EXISTING NEIGHBOURING PROPERTIES.



EXISTING LEFT SIDE ELEVATION



EXISTING RIGHT SIDE ELEVATION

Scale Bar @ 1:100



A - right side elevation	aa	10.01.23
added		
revision		by date
status		
BUILDING REGULATIONS		
scale	drawn	
1:100@A3	mn	
date	approved	
09.06.16	aa	
title		

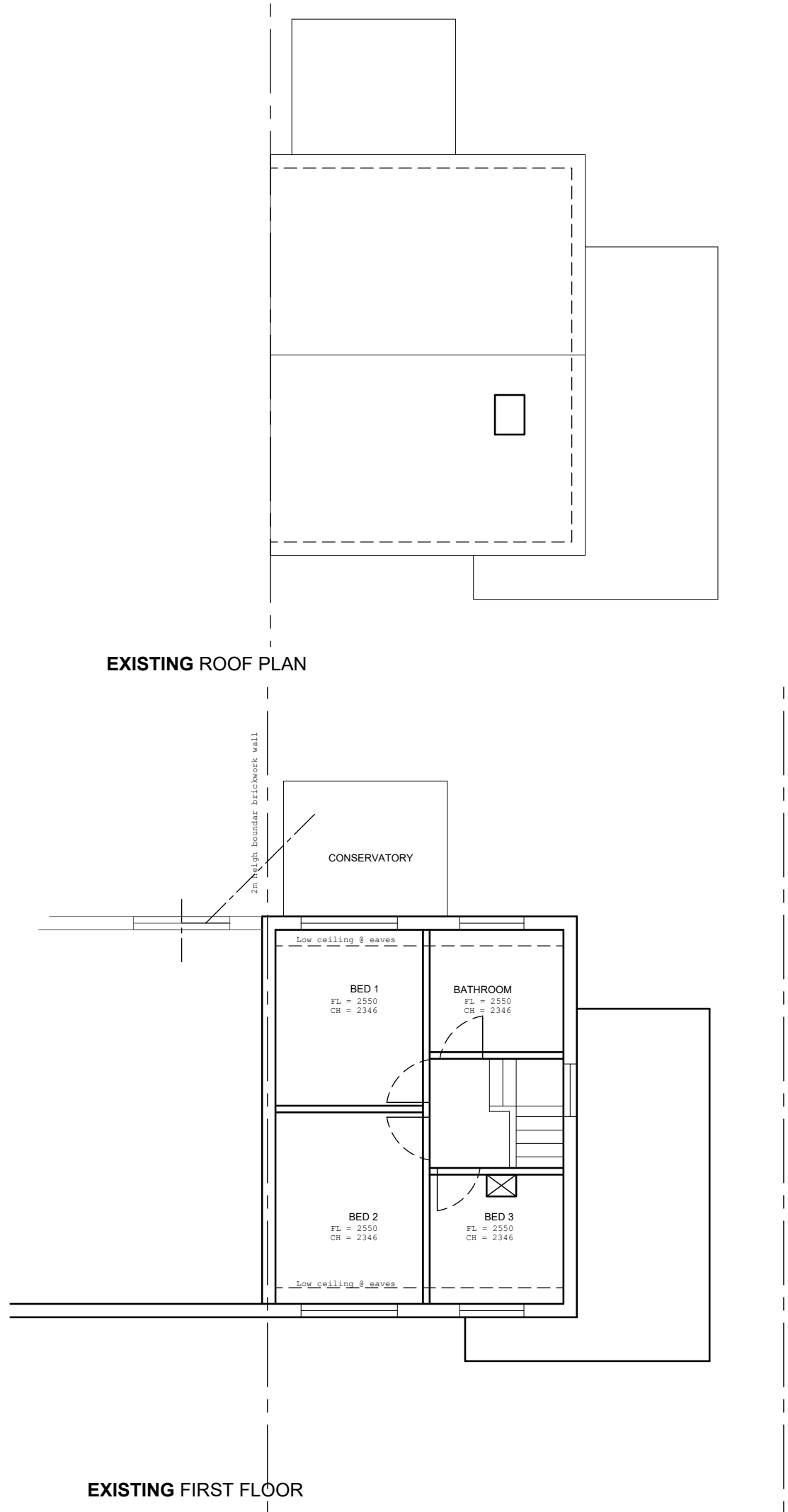
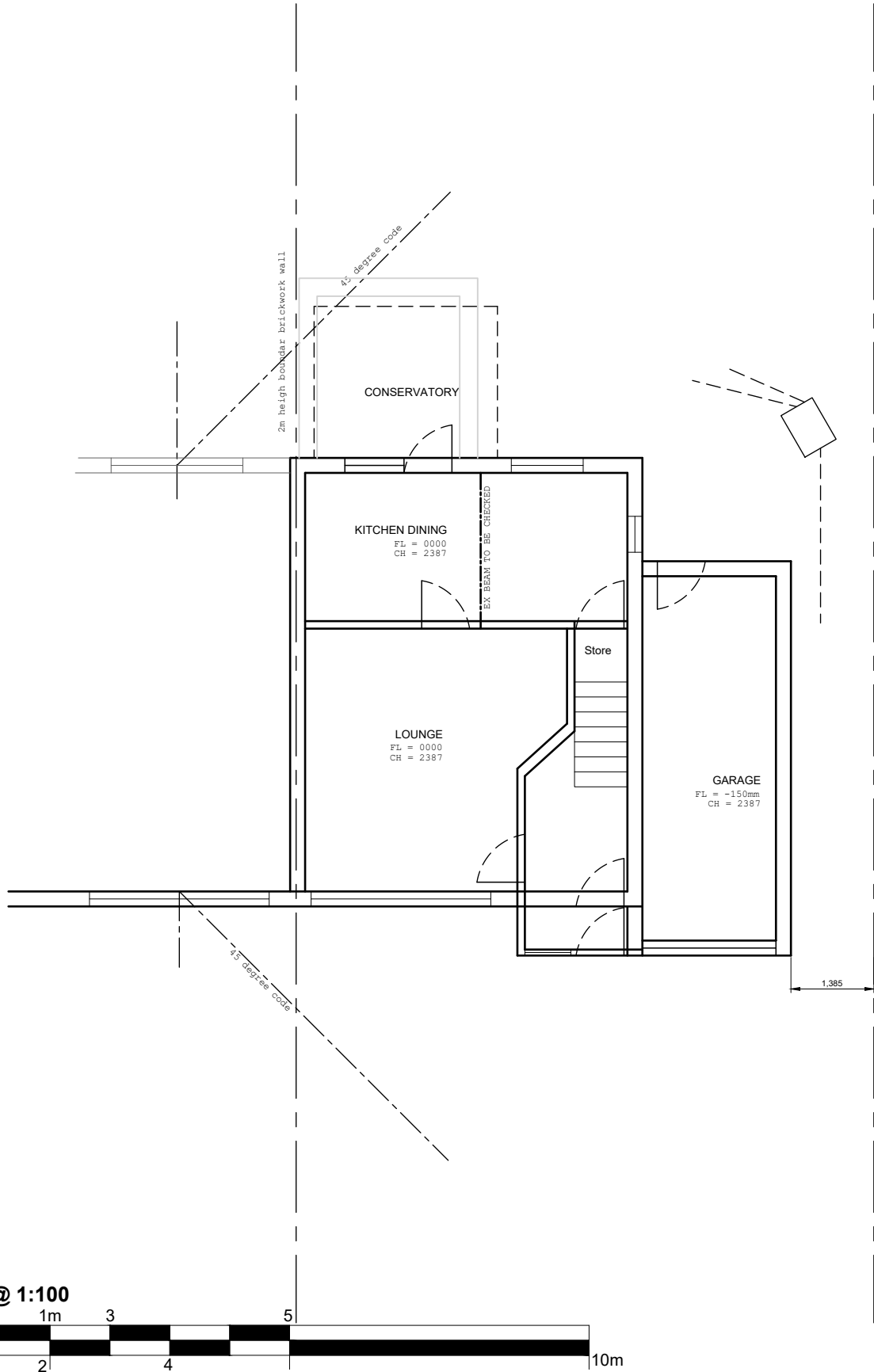
EXISTING ELEVATIONS

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drawing number	revision
163(P)04	B



EXISTING ROOF PLAN

B - Door to garage shown	aa	10.01.23
- Scale bar added	aa	30.08.22
revision		by date
status		
<b>PLANNING</b>		
scale	drawn	
1:100@A3	mn	
date	approved	
22.12.15	aa	
title		

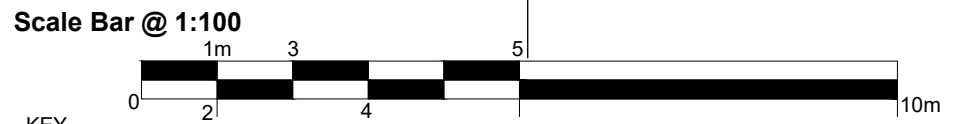
**EXISTING FLOOR LAYOUTS**

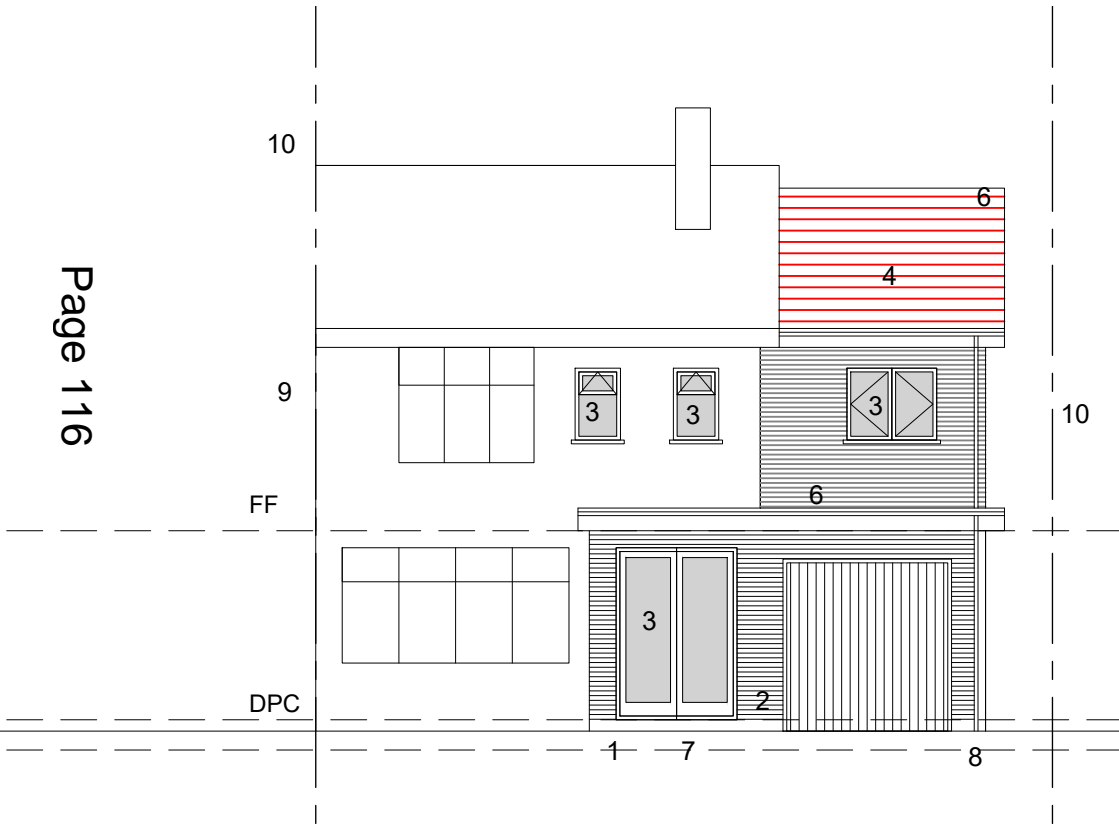
project  
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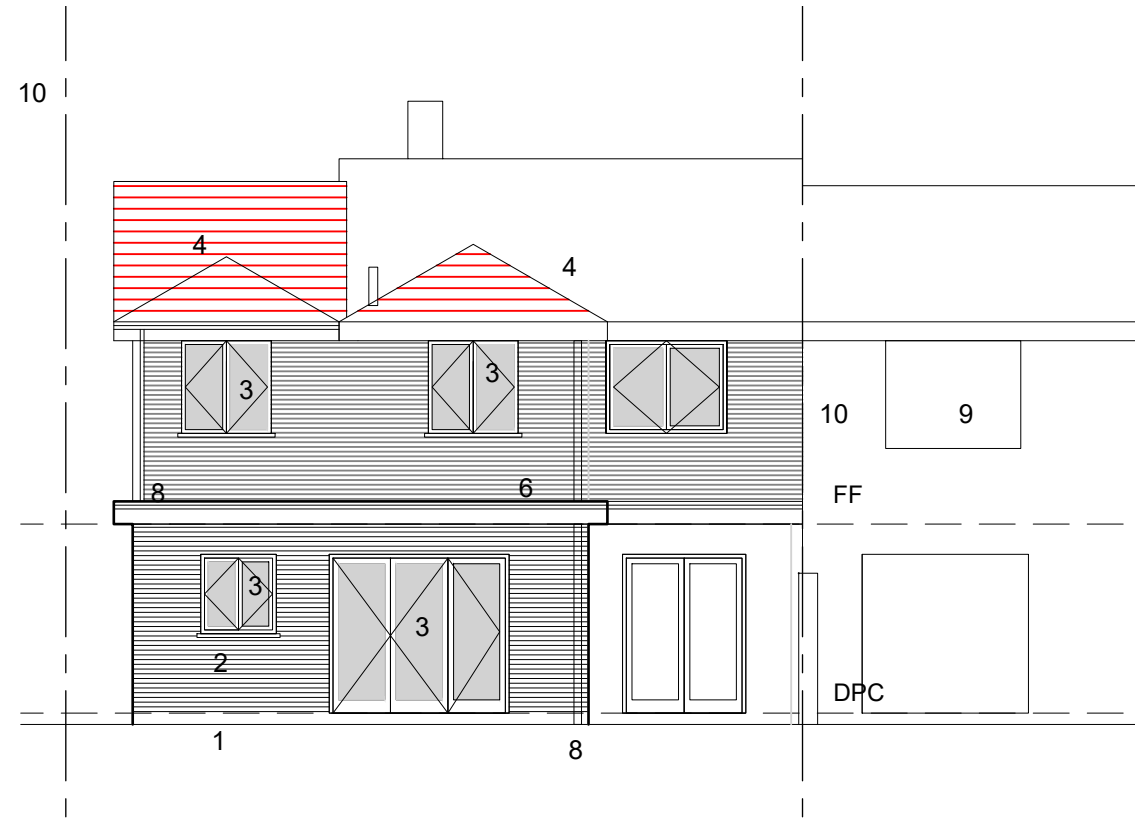
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drawing number	revision
<b>164(P)03</b>	<b>B</b>





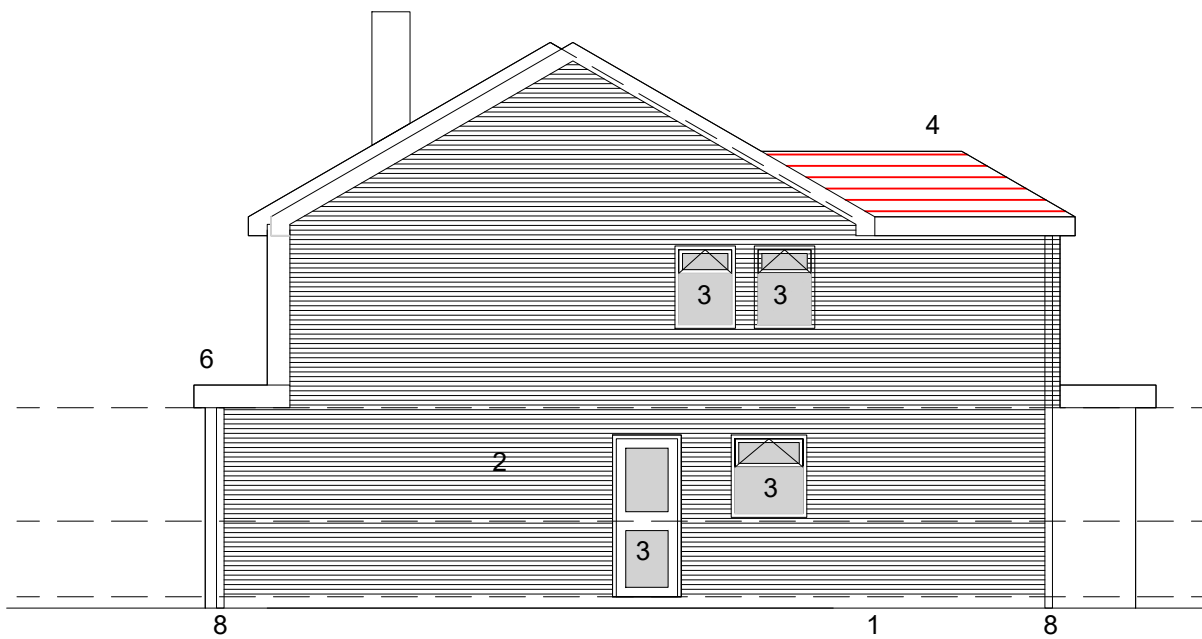
PROPOSED FRONT ELEVATION



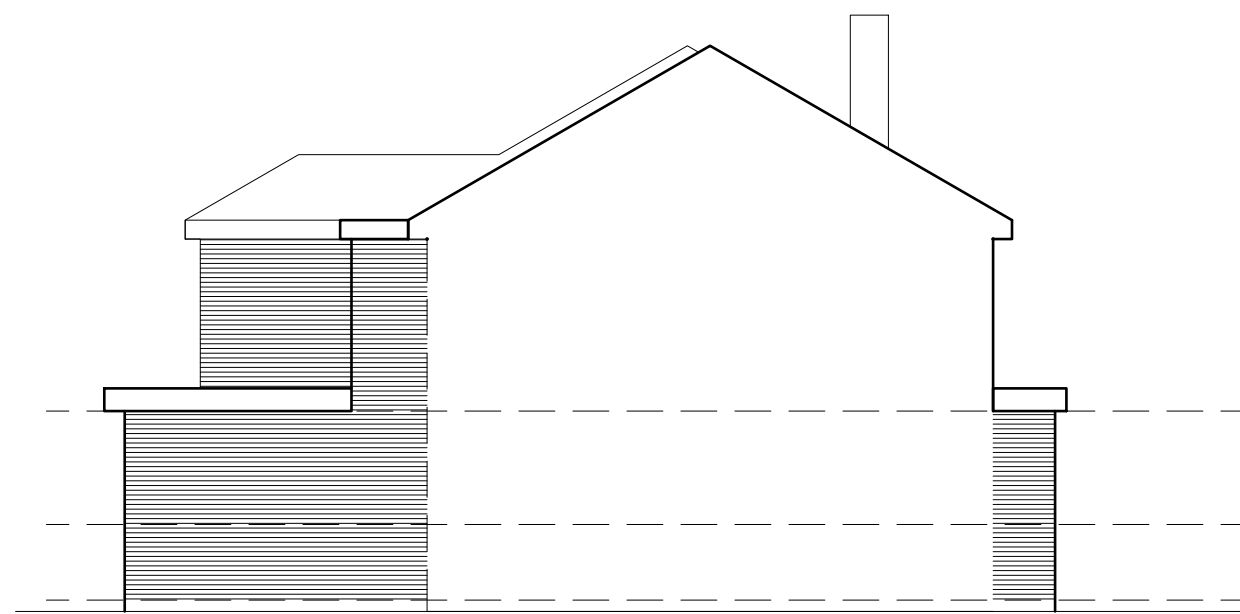
PROPOSED REAR ELEVATION

KEY

1. ENGINEERING BRICKWORK BELOW DPC
2. NEW BRICKWORK TO MATCH EXISTING
3. UPVC DOUBLE GLAZED WINDOWS/DOORS, WHITE.
4. NEW CONCRETE TILED ROOF TO MATCH EXISTING.
5. Omitted
6. SINGLE PLY FLAT ROOF LAID TO 1:60 FALLS.
7. NEW FRONT PORCH.
8. RAINWATER DOWNPIPES/GUTTER
9. NEIGHBOURING PROPERTIES.
10. SITE OWNERSHIP BOUNDARY LINE.



PROPOSED LEFT SIDE ELEVATION



PROPOSED RIGHT SIDE ELEVATION

Scale Bar @ 1:100



KEY		PROPOSED EXTENSION AREA(S)
	WALLS	
	ROOF	
E	Front lounge extension	02.03.23
	omitted: Window added to side elevation for en-suite	
D	bedroom 1 window updated as	10.01.23
	+ right side elevation added	
revision		by date
status		
BUILDING REGULATIONS		
scale	drawn	
1:100@A3	mn	
date	approved	
09.06.16	aa	
title		

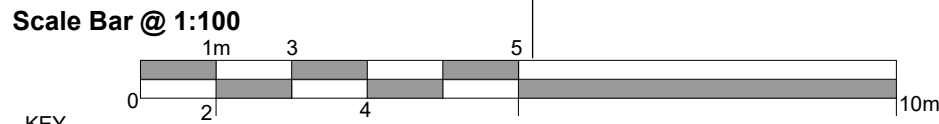
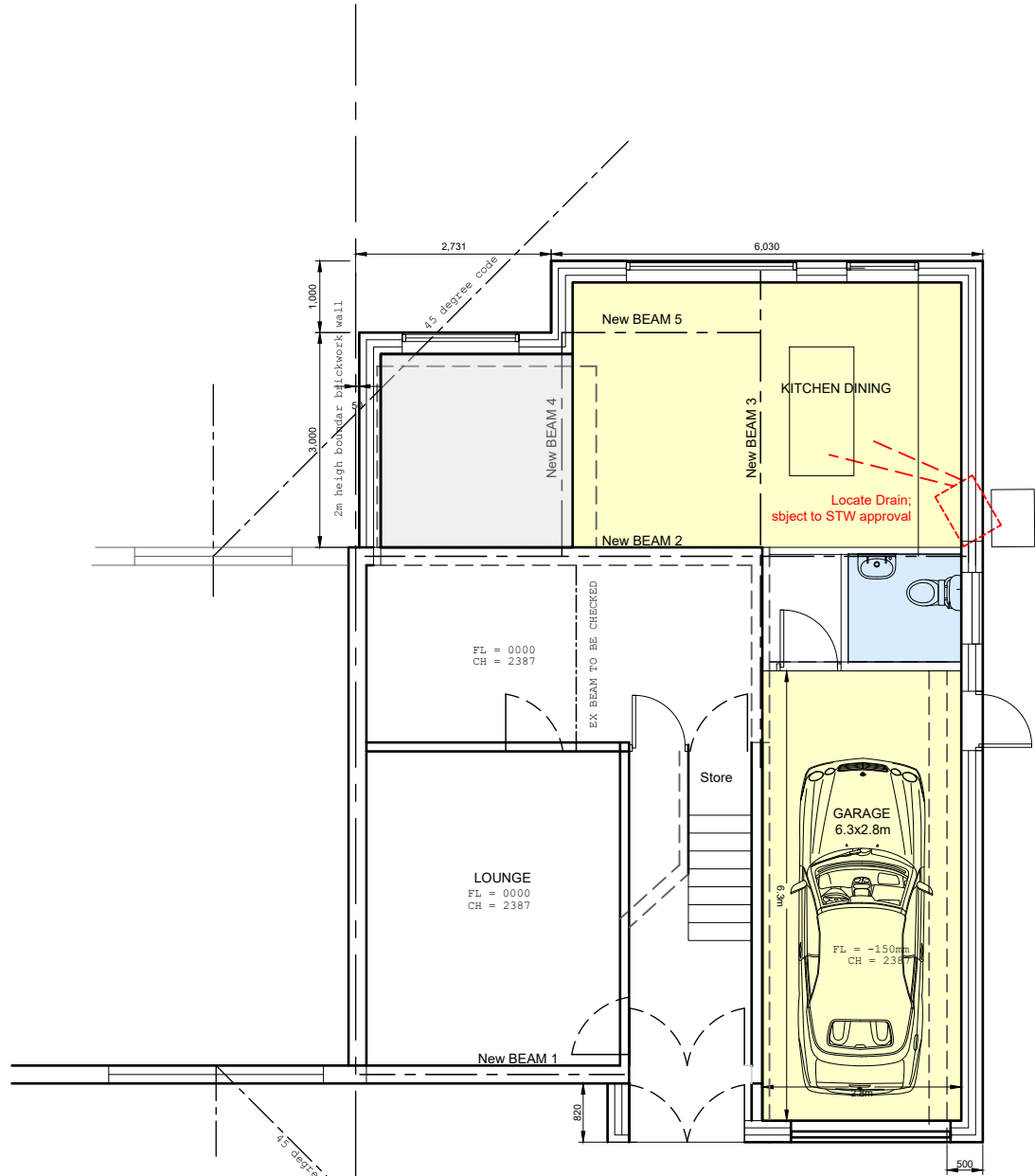
PROPOSED ELEVATIONS

project  
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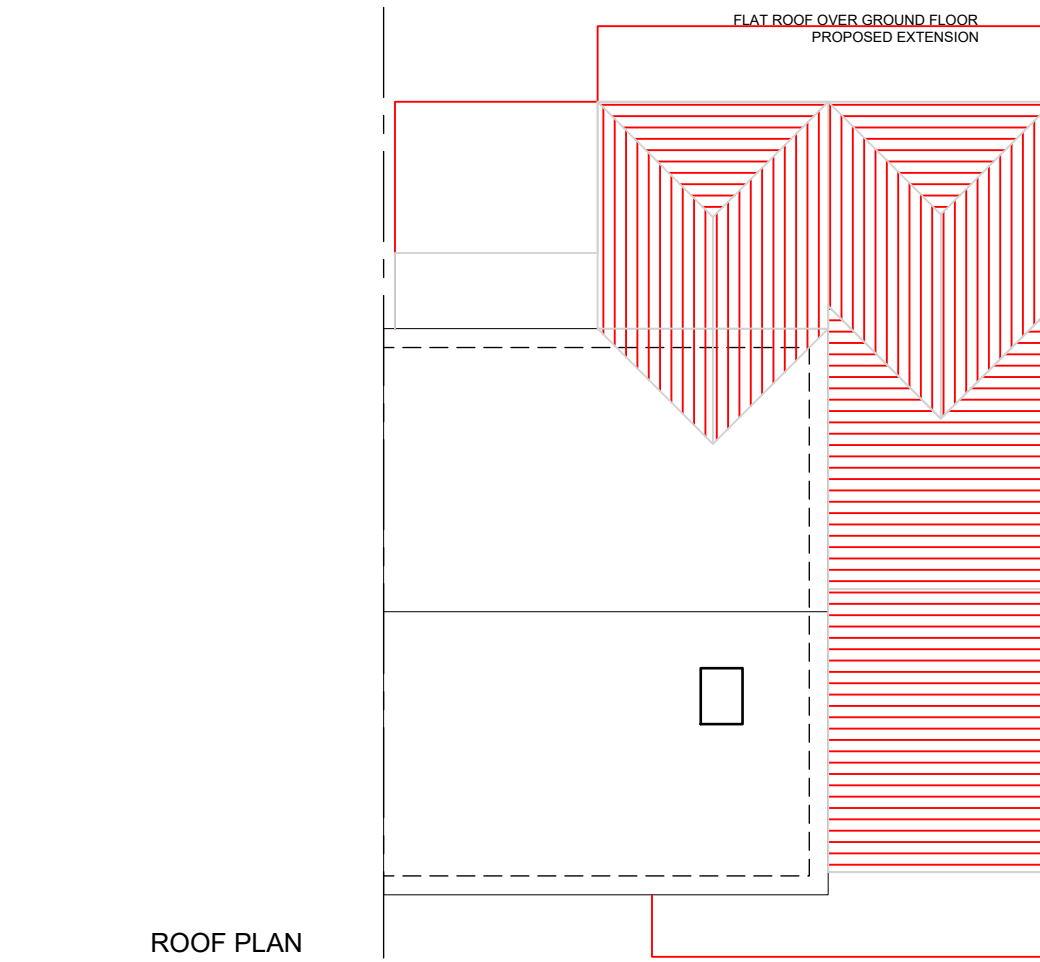
drawing number revision  
163(P)05 E



KEY  
 EXISTING WALLS, SHOWN HATCHED

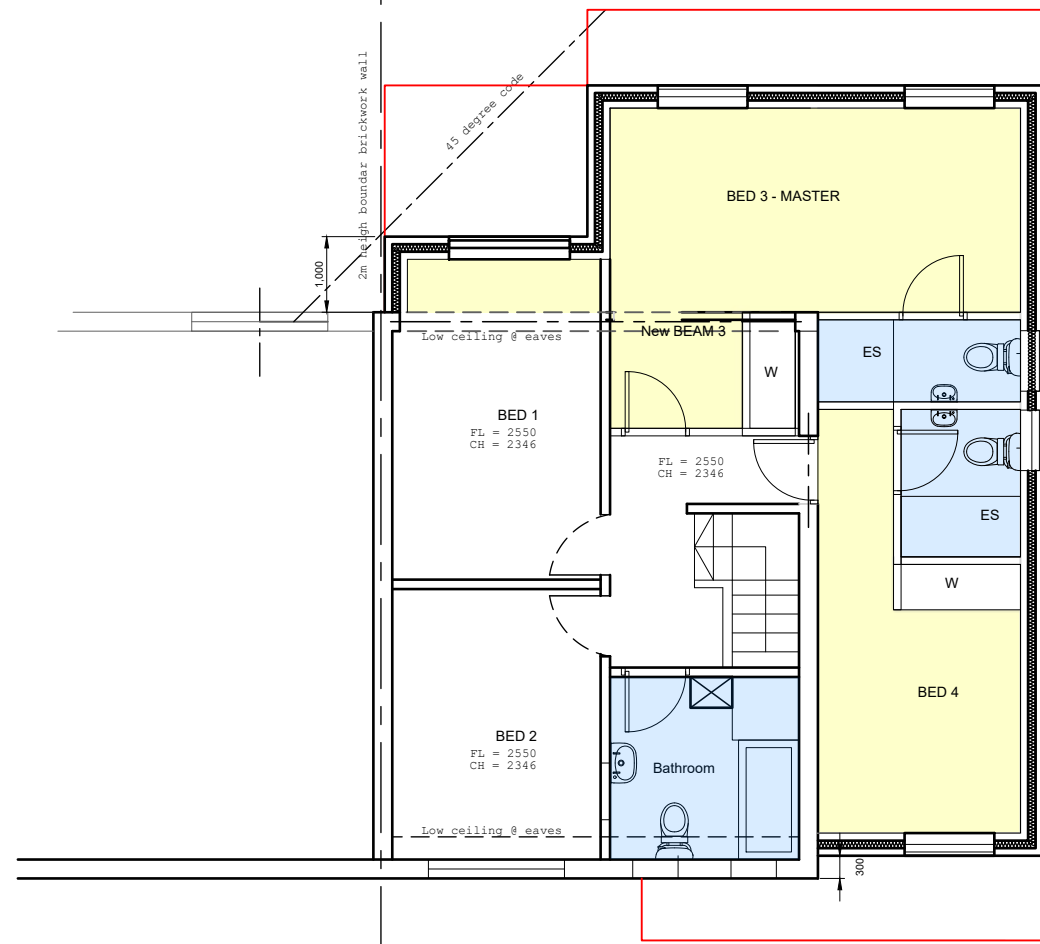
A

ROOF PLAN



A

FIRST FLOOR



- KEY:
- PHYSICAL SITE BOUNDARY
  - LEGAL BOUNDARY TO BE CONFIRMED BY CLIENT
  - OUTLINE OF ADJACENT PROPERTIES
- WALLS:
- EXISTING LOADBEARING WALLS TO BE CONFIRMED
  - NEW LOADBEARING FACING BRICKWORK WALLS
  - NEW LOADBEARING 100mm BLOCKWORK WALLS, PLASTER/SKIM FINISH
  - NEW LOADBEARING WALLS 100mm FABRICATED BLOCKWORK, PAINTED FINISH
  - NON-LOAD BEARING STUD WALLS
  - EXISTING LOADBEARING WALLS SAFELY REMOVE
  - NEW STEEL BEAMS
  - NEW CONCRETE/CATINIC UNITS TO SUIT WALL
  - FULLY FILLED INSULATION - SEE SPEC
- NEW FLOOR AREA ALTERATIONS
- DIRECTION OF FLOOR STRUCTURE
- LIGHT FITTINGS TO CLIENT CHOICE

E - Ground floor front lounge extension omitted. Bedroom 5 omitted and floor layout revised. aa 01.03.23

D - Bedroom 2 window added 11.01.23

C - Bedroom 1 window added 10.01.23

- Scale bar added 30.08.22

revision	by	date
status		

PLANNING

scale 1:100@A3 drawn mn

date 22.12.15 approved aa

title

PROPOSED FLOOR LAYOUTS

project  
 7 LOCHRANZA CROFT,  
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drawing number revision  
**164(P)03 E**

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## Report to Planning Committee

**10 May 2023**

<b>Application Reference</b>	DC/23/67863
<b>Application Received</b>	10 January 2023
<b>Application Description</b>	Proposed change of use from general industrial to treatment, remediation and recovery facility for contaminated soils, construction, demolition and excavation of waste with 1 No. soil treatment shed and 4 No. office/meeting rooms, 1 No. mess drying room, toilet block, store, weighbridge unit, picking station, decontamination unit, clean material area and 2 No. holding tanks and covered post treatment areas, oversized processing area, parking and the creation of a new vehicular access - Temporary planning permission for 5 years.
<b>Application Address</b>	Land West Of Bridge Street North Smethwick B66 2BJ
<b>Applicant</b>	Soterion Limited
<b>Ward</b>	Soho & Victoria
<b>Contact Officer</b>	Mr Andrew Dean <a href="mailto:andrew_dean@sandwell.gov.uk">andrew_dean@sandwell.gov.uk</a>



## 1 Recommendations

- 1.1 That, subsequent to ratification by Full Council of the departure from housing use, temporary planning permission is granted subject to conditions relating to:
- i) 5 Year temp.
  - ii) Air quality assessment and mitigation measures.
  - iii) Revised noise assessment and mitigation measures.
  - iv) Noise management plan
  - v) Dust management plan to incorporate all processes that could give rise to dust.
  - vi) All processing of contaminated materials with the exception of the handpicking asbestos station to be carried out within the existing building.
  - vii) There shall be no external storage above 4m in height measured from the natural ground level.
  - viii) External Materials.
  - ix) Electric vehicle charging points.
  - x) Hours of operation.
  - xi) Hours of operation of the crushing and screening operation.
  - xii) Vehicle parking and manoeuvring areas to be provided and retained.
  - xiii) Foul drainage
  - xiv) Surface water drainage scheme.
  - xv) Site investigation.
  - xvi) Cycle parking.
  - xvii) External lighting scheme.
  - xviii) Boundary treatments.
  - xix) Low NOx boilers.

## 2 Reasons for Recommendations


- 2.1 The proposal, subject to a temporary consent and the conditions contained within the recommendation, raises no significant concerns





from a policy, public health or highway perspective. The granting of a temporary approval would not prevent the site coming forward for housing in the future.

### 3 How does this deliver objectives of the Corporate Plan?

	A strong and inclusive economy
---	--------------------------------

### 4 Context

4.1 The application is being reported to your Planning Committee because the site is part of a housing allocation in the development plan. As such, the proposal is a departure from the development plan and requires further approval of Full Council, should the Planning Committee resolve to approve this application.

4.2 To assist members with site context, a link to Google Maps is provided below:

[Land at Bridge Street North](#)

### 5 Key Considerations

5.1 The site is allocated for housing in the Development Plan.

5.2 The material planning considerations which are relevant to this application are: -

Government policy (NPPF)

Proposals in the Development Plan

Design, appearance, materials and public visual amenity.

Access, highway safety, parking and servicing

Noise and disturbance.



## 6. The Application Site

- 6.1 The application site is a former industrial premise sandwiched between two canals located on the western side of Bridge Street North. The application site is flanked by canal waterways on either side of the site, namely being the Birmingham New Main Line to the north and the Engine Arm to the South. The wider area is mixed use in nature with industrial premises being located on the opposite side of the Engine Arm canal and residential properties being located on the opposite side of the Birmingham New and Old mainline Canals. The nearest residential dwellings are a minimum of 100 metres from the application site and are separated from the site by the two canals and an area of open space containing vegetation. Residential canal moorings can be found further down the engine arm canal heading east.
- 6.2 The site has predominantly been cleared of all structures and buildings with one large warehouse remaining which measures approximately 2800m<sup>2</sup>. The remaining site is hardstanding.
- 6.3 The site is adjacent to and partly within the Smethwick Summit, Galton Valley, Smethwick Conservation Area. In close proximity to the rear of the site is also a scheduled ancient monument (Engine Arm Aqueduct).

## 7. Planning History

- 7.1 A section of the site and the remaining warehouse received a 3-year temporary retrospective approval for receipt of, storage, sorting and separation of non-ferrous materials under application reference DC/08/50156. This was granted subject to conditions that the use should take place within the building and no materials should be stored in the rear yard. The rear of the site also received approval under application reference DC/97/33689 to be used for aluminium recycling.



7.2 Relevant planning applications are as follows:

PD/22/02111	Proposed demolition of all buildings with the exception of the hi-bay warehouse.	Demolition consent granted. 29.04.2022
DC/14/57444	Demolition of two storey brick building.	Demolition consent granted. 16.10.2014
DC/14/57472	Proposed re-cladding of unit.	Grant Permission subject to conditions. 03.11.2014
DC/08/50156	Retrospective application for receipt of, storage, sorting and separation of non-ferrous materials.	Grant Temporary Approval 17.12.2008
DC/09/50964	Change of use to B2 (General Industrial) use.	Grant Permission. 21.07.2009
DC/97/33689	Change of use of former Raleigh Works & plastic injection moulding to aluminium recycling and alteration to make provision for offices & partial demolition to afford lorry manoeuvring.	Grant Permission subject to conditions. 25.11.1997

## 8. Application Details

8.1 The applicant is proposing to change of use of the existing site and warehouse from general industrial to treatment, remediation and recovery facility for contaminated soils, construction, demolition and excavation of waste with 1 No. soil treatment shed and 4 No. office/meeting rooms, 1 No. mess drying room, toilet block, store,



weighbridge unit, picking station, decontamination unit, clean material area and 2 No. holding tanks and covered post treatment areas, oversized processing area, parking and the creation of a new vehicular access. The applicant is seeking a temporary planning permission for 5 years, as the long-term ambition for the site is for a residential use.

- 8.2 The application states that waste brought onto the site would be contaminated with asbestos, hydrocarbon and diesel. The contaminated waste would be deposited in the bays within the existing warehouse building. The bioremediation process would be carried out within the warehouse building with asbestos picking occurring immediately adjacent to the building at the picking station. Post remediated waste would be stored in storage bays waiting for exportation to be used on construction sites. Concrete and stone from the contaminated soil would be stored at the rear of the site where it would be crushed when required to be used for hardcore. The applicant has indicated this would be approximately every 3 to 4 months.
- 8.3 The proposed building providing the site office and staff facilities would be temporary in nature similar in appearance to portacabin/container buildings. The decontamination unit would measure 3.65m by 1.8m with an overall height of 2.45m. The weighbridge office would measure 2.45m by 2.3m with an overall height of 2.45m. The site office would measure 9.75m by 2.5m with an overall height of 2.45m. The store would measure 6m by 2.5m with an overall height of 2.45m. The mess room/ drying room would measure 9.75m by 2.5m with an overall height of 2.45m. The four covered post treatment bays would measure 40m by 7.5m with an overall height of 5 metres.

## 9. Publicity

- 9.1 The application has been publicised by neighbour notification letter, site noise and press notice, without response.



## 10. Consultee responses

### 10.1 Planning Policy

No objection. In order for a residential scheme to be realised, in line with the designation, comprehensive redevelopment would be required. As this has not been forthcoming and considering the active nature of the wider industrial area, an industrial/employment use would be the most appropriate type of development in this location at this time.

### 10.2 Highways

No objection subject to a condition for the parking and manoeuvring area shown on the submitted layout to be provided and retained.

### 10.3 Public Health (Air Quality)

No objection subject to conditions for the submission of an air quality assessment including mitigation measures to reduce impact on nearby businesses and residential properties, electric vehicle charging points, the submission of a dust management plan and operation hours including a restriction on the crushing and screening operation.

### 10.4 Public Health (Contaminated Land)

No objection subject to the submission of a detailed site investigation report being submitted and approved.

### 10.5 Public Health (Air Pollution and Noise)

No objection subject to the submission of a revised noise risk assessment to take into consideration residential boat moorings on the Engine Arm canal and the design of mitigation measures to reduce noise disturbance. Further conditions relating to hours of operation, a noise management plan and all processing of contaminated materials with the



exception of the handpicking asbestos station are to be carried out within the existing building.

10.6 **Conservation Officer** – No objection.

### 10.7 **Lead Local Flood Authority**

Comments received regarding the requirement of a surface water drainage scheme. This has been included within the recommendation.

10.8 **Severn Trent** – No objection subject to the standard drainage condition.

### 10.9 **Canal and River Trust**

Comments received highlighting the importance of the location in terms of the canal network. Additional information concerning impact on the structural stability of the waterway and drainage matters, protection of the water environment, protection and enhancement of biodiversity and impact on the character of the waterway corridor, sustainable travel and impact on moorings during construction and operation. Conditions contained within the recommendation would address drainage and noise. In terms of biodiversity and enhancement of the waterway, it should be noted this is an existing industrial site which is characterised by a concrete slab to be retained by the applicant. These matters would be addressed when the long terms ambition for the site to be used for residential comes forward. However, a condition for an external lighting scheme has been included within the recommendation. In terms of the structural stability of the large retaining wall to the north of the site, the applicant has submitted a visual assessment report regarding the condition of the wall. However, the majority of the wall is covered with vegetation which would need to be removed in order to make a full assessment. The wall itself falls outside of the application redline boundary and an area on top of the wall is also outside of the application boundary, the applicant has indicated that the wall and land are within the ownership of the Canal and River Trust. I am therefore of the opinion this would be a civil matter between the Canal and River Trust



and the applicant and a condition for further assessment would be unnecessarily onerous on the applicant considering the wall is outside of the redline boundary and under the ownership of the Canal and River Trust.

**10.10 Health and Safety Executive** – No objection.

### **10.11 Urban Design**

Highlights the long-term ambition for the site is residential. Suggested conditions relating to boundary treatments and soft landscaping to limit impact on the canal.

## **11. National Planning Policy**

11.1 National Planning Policy Framework promotes sustainable development but states that local circumstances should be taken into account to reflect the character, needs and opportunities for each area.

## **12. Local Planning Policy**

12.1 The following policies of the council's Development Plan are relevant:

EMP1 – Providing for Economic Growth

TRAN2 – Managing Transport Impacts of New Development

TRAN4 - Creating Coherent Networks for Cycling and for Walking

ENV3 – Design Quality

ENV5 – Flood Risk, Sustainable Drainage Systems and Urban Heat Island

ENV8 – Air Quality

SAD EMP 4 – Relationship between Industry and Sensitive Uses

SAD EOS9 – Urban Design Principles

SAD EOS10 – Design Quality & Environmental Standards

12.2 The site is allocated for residential development in the Development Plan.



- 12.3 Policy EMP1 seeks to ensure a sufficient stock of employment land to meet demand and support the growth and diversification of the economy. Although the site is allocated for housing in the long term, the proposal complies with this policy by providing industrial employment within the borough.
- 12.4 TRAN1 and TRAN2 seeks to resist development proposals that are likely to have significant transport implications, unless applications are accompanied by proposals to provide an acceptable level of accessibility and safety by all modes. As part of this application a condition for secure cycle parking within the development has been included within the recommendation. Bridge Street North is also a 9-minute walk from Rolfe Street train station with links to Birmingham, Oldbury and Wolverhampton.
- 12.5 Both ENV3 and SAD EOS9 policies refer to appropriate design, given the temporary nature of the proposed use and industrial nature of the surrounding area, I am satisfied the proposed structures are of appropriate in scale, design and appearance.
- 12.6 Policy SAD EMP4 refers to industrial development in relation to residential properties. The policy seeks any harmful effects of the proposal to be mitigated. In this instance public health have raised no objections to the application subject to the conditions contained within the recommendation. On this basis I am satisfied residential amenity can be protected.
- 12.7 ENV5 seeks the incorporation of suitable drainage systems to assist with reducing the impact of flood and surface water run-off. A condition for a surface water drainage system to be submitted and approved has been included within the recommendation.
- 12.8 ENV8 refers to mitigation measures to offset air quality issues, in this instance a condition for electric vehicle charging points has been included within the recommendation.





12.9 SAD EOS10 requires the design of industrial development should be of a high standard and should take into account the design principles set out in Policy SAD EOS 9.

### 13. Material Considerations

13.1 National and local planning policy considerations have been referred to above in Sections 11 and 12. With regards to the other material considerations, these are highlighted below:

#### 13.2 Proposals in the Development Plan

The site is allocated for housing in the development. In order for a residential scheme to be realised, in line with the designation, a comprehensive redevelopment would be required. As this has not been forthcoming and considering the active nature of the wider industrial area, an industrial/employment use would be the most appropriate type of development in this location at this time. The granting of a temporary approval would not prevent the site coming forward for housing in the future.

#### 13.3 Design, appearance, materials and public visual amenity.

Taking into consideration the temporary nature of the proposed use, coupled by the fact the surrounding area is industrialised in nature, I am satisfied the appearance of the temporary structures would be acceptable. To limit impact on the canal, a condition for details of the external materials to be used for the post treatment bays has been included within the recommendation, as well as boundary treatment details.

#### 13.4 Access, highway safety, parking, servicing and traffic generation

The Head of Highways has reviewed the application and raised no objections subject to a condition for the parking and manoeuvring areas



to be installed and retained in accordance with the submitted site layout plan.

### 13.5 Noise and disturbance.

Public Health have reviewed the proposal and raised no objections subject to the conditions contained within the recommendation. This includes the submission of a revised noise risk assessment to take into consideration residential boat moorings on the Engine Arm canal and the design of mitigation measures to reduce noise disturbance. Further conditions relating to hours of operation, a noise management plan, dust management plan and all processing of contaminated materials with the exception of the handpicking asbestos station to be carried out within the existing building. On this basis I am satisfied the amenity of neighbouring properties can be protected from noise and disturbance. Please note, should the Planning Committee resolve to grant approval of this application, the operation of the site would be regulated under an Environment Agency permit which includes matters such as dust control.

## 14 Alternative Options

14.1 Refusal of the application is an option if there are material planning reasons for doing so. In my opinion the proposal is compliant with relevant polices and there are no material considerations that would justify refusal.

## 15 Implications

<b>Resources:</b>	When a planning application is refused the applicant has a right of appeal to the Planning Inspectorate, and they can make a claim for costs against the Council.
<b>Legal and Governance:</b>	This application is submitted under the Town and Country Planning Act 1990.
<b>Risk:</b>	None.



<b>Equality:</b>	There are no equality issues arising from this proposal and therefore an equality impact assessment has not been carried out.
<b>Health and Wellbeing:</b>	None.
<b>Social Value</b>	None.
<b>Climate Change</b>	Sandwell Council supports the transition to a low carbon future, in a way that takes full account of the need to adapt to and mitigate climate change. Proposals that help to shape places in ways that contribute to radical reductions in greenhouse gas emissions, minimise vulnerability and improve resilience; encourage the reuse of existing resources, including the conversion of existing buildings; and support renewable and low carbon energy and associated infrastructure, will be welcomed.

## 16. Appendices

Location plan - 1

Proposed site plan - 102201/P100 REV A (A1)

Soil treatment shed floor plan - 102201/P200 (A1)

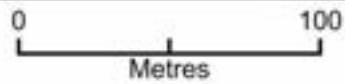
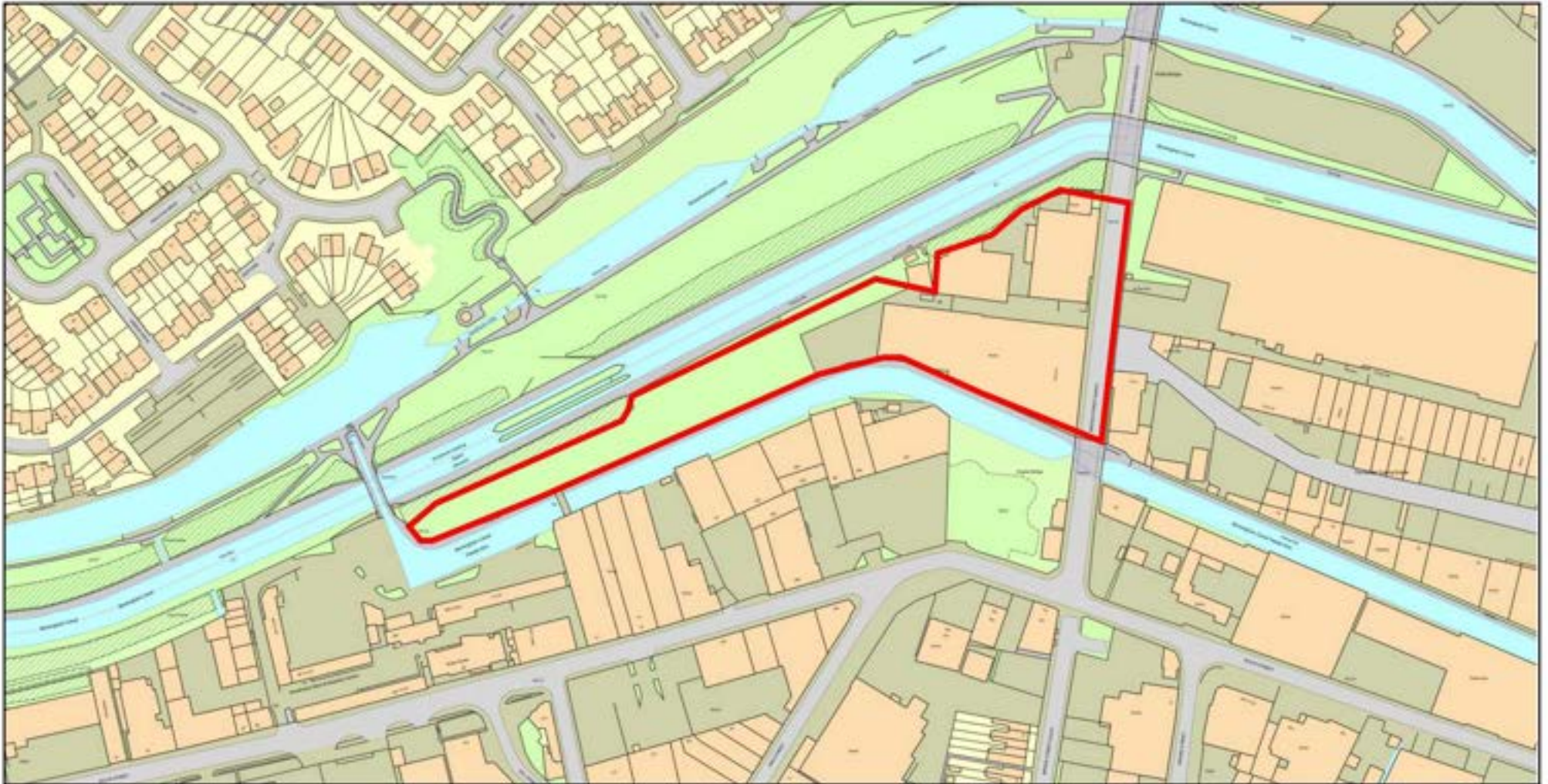
Proposed site accommodation - 102201/P300 (A1)

Proposed post remediation bays - 102201/P400 (A1)

Picking station elevations - 2



# Site Location Plan - Land West of Bridge Street North



Plan Produced for:



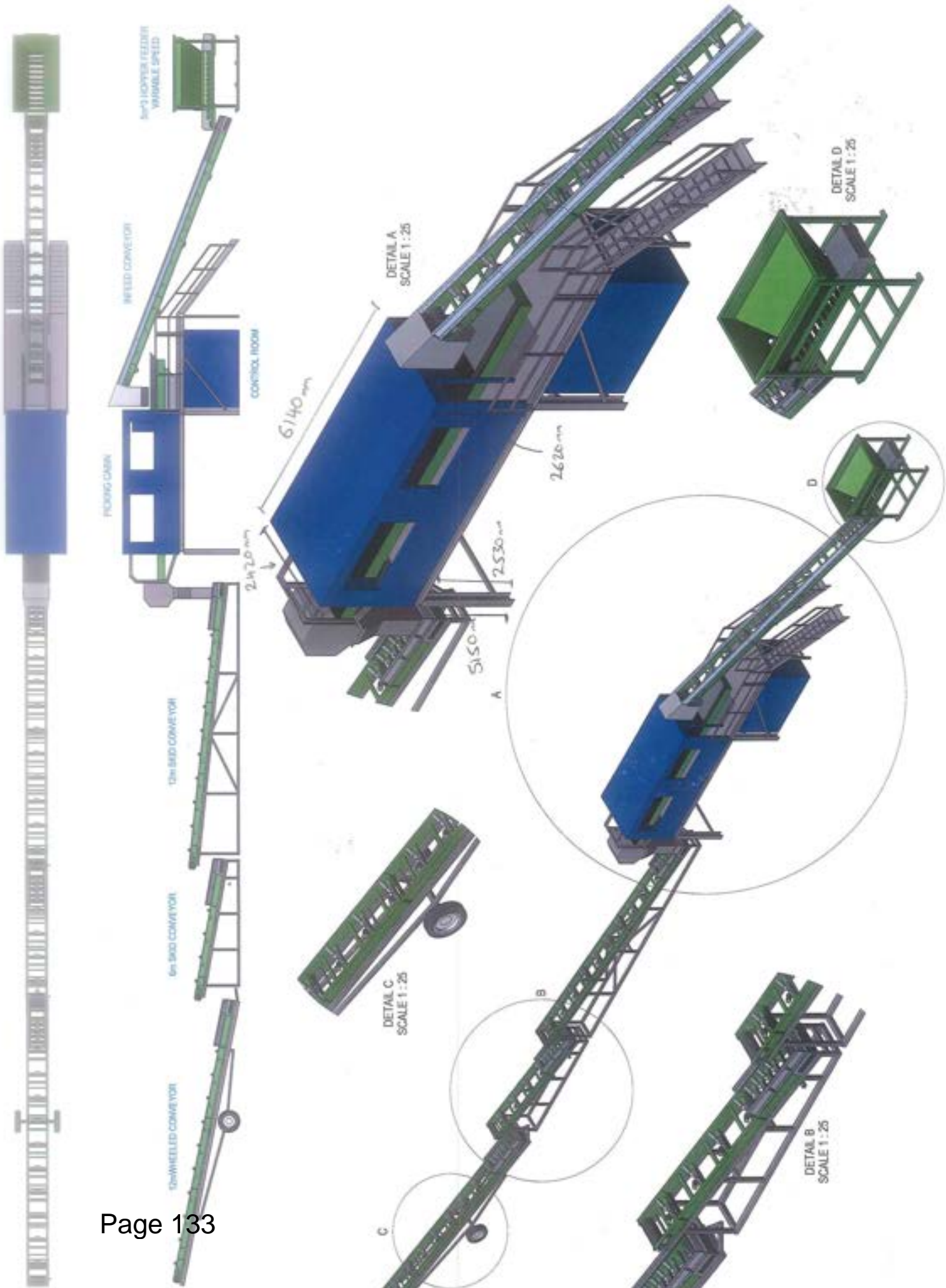
Date Produced: 15 Feb 2022

Plan Reference Number: TQRQM22046120930716

Scale: 1:2500 @ A4

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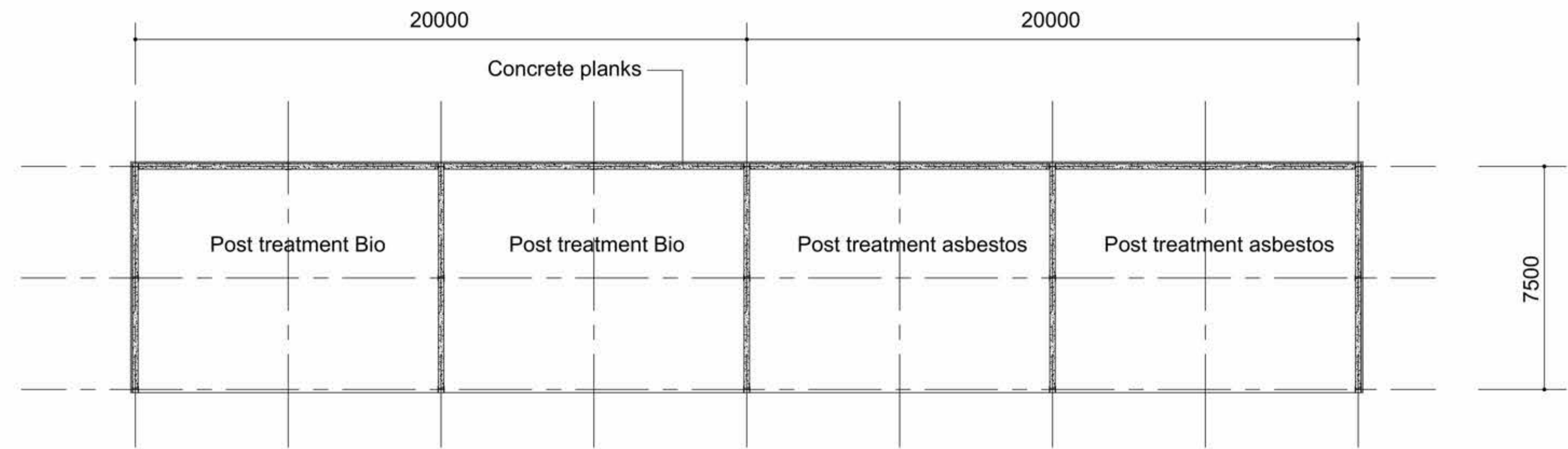




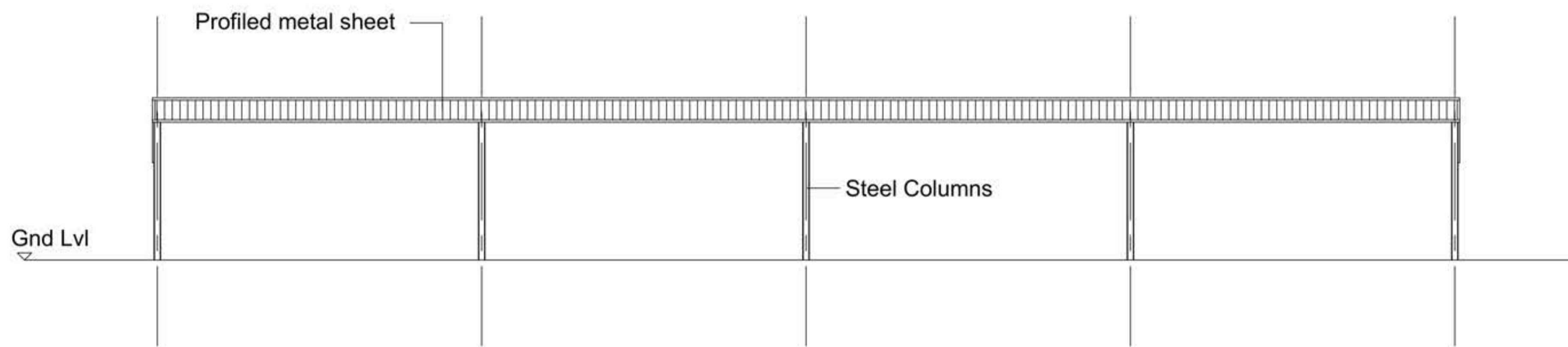


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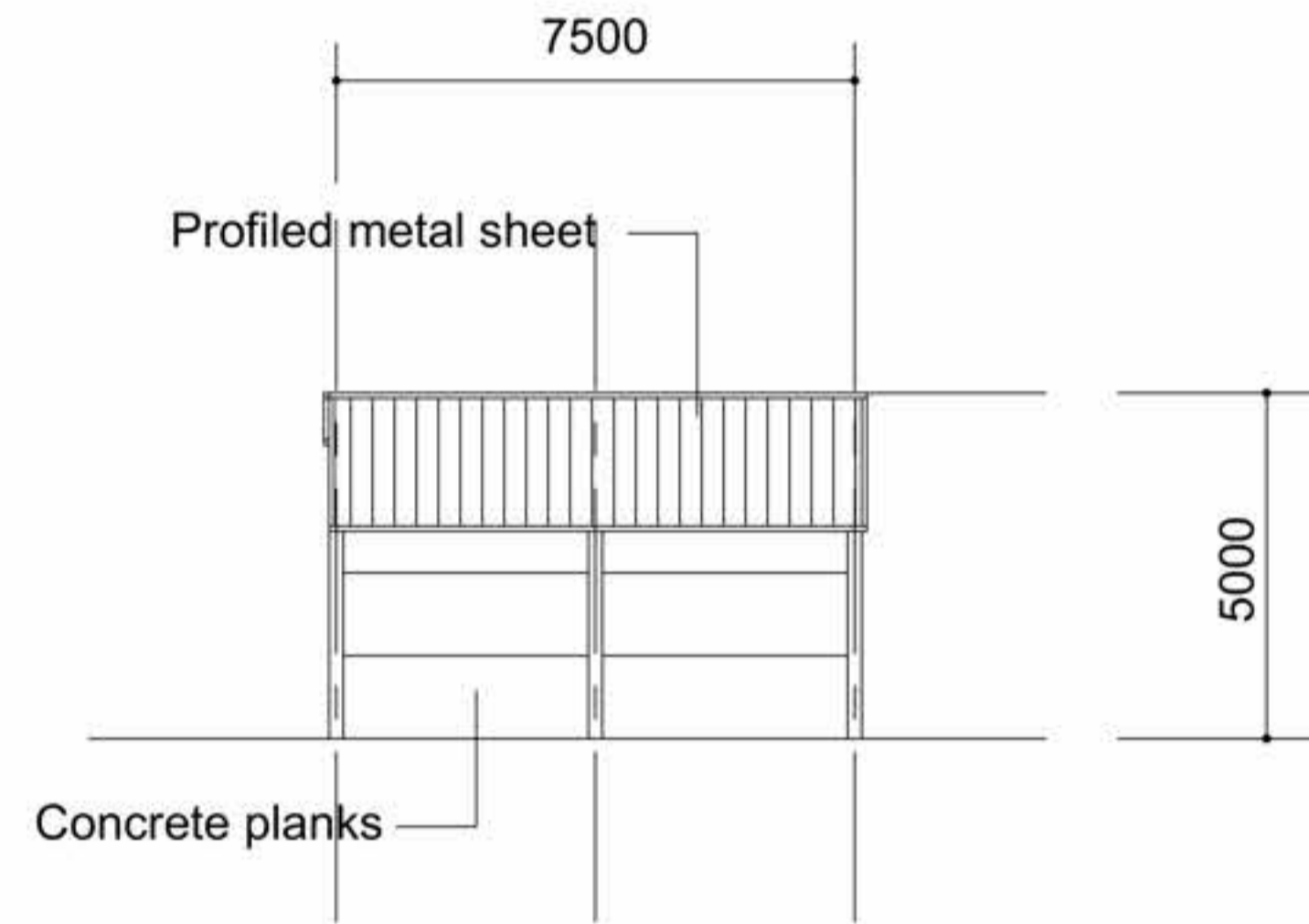
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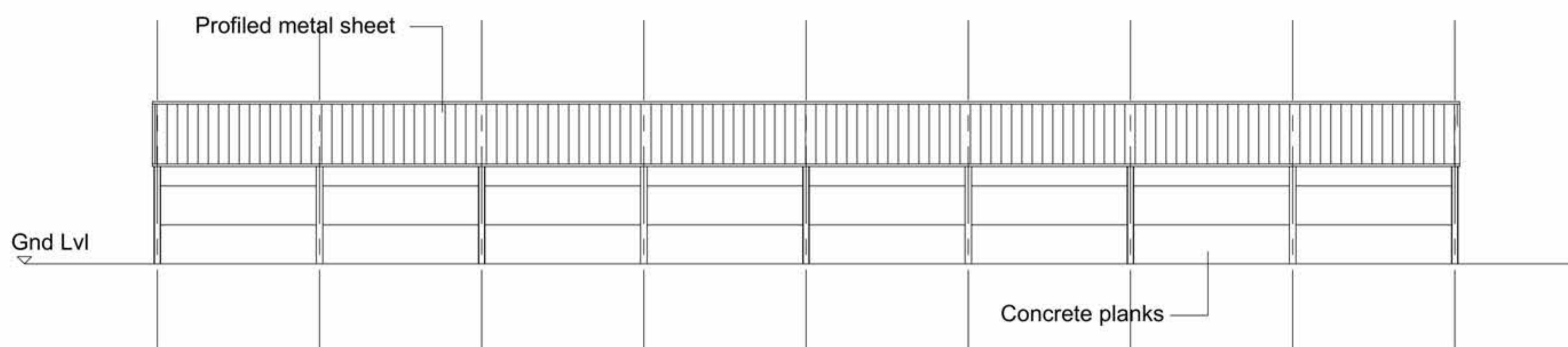
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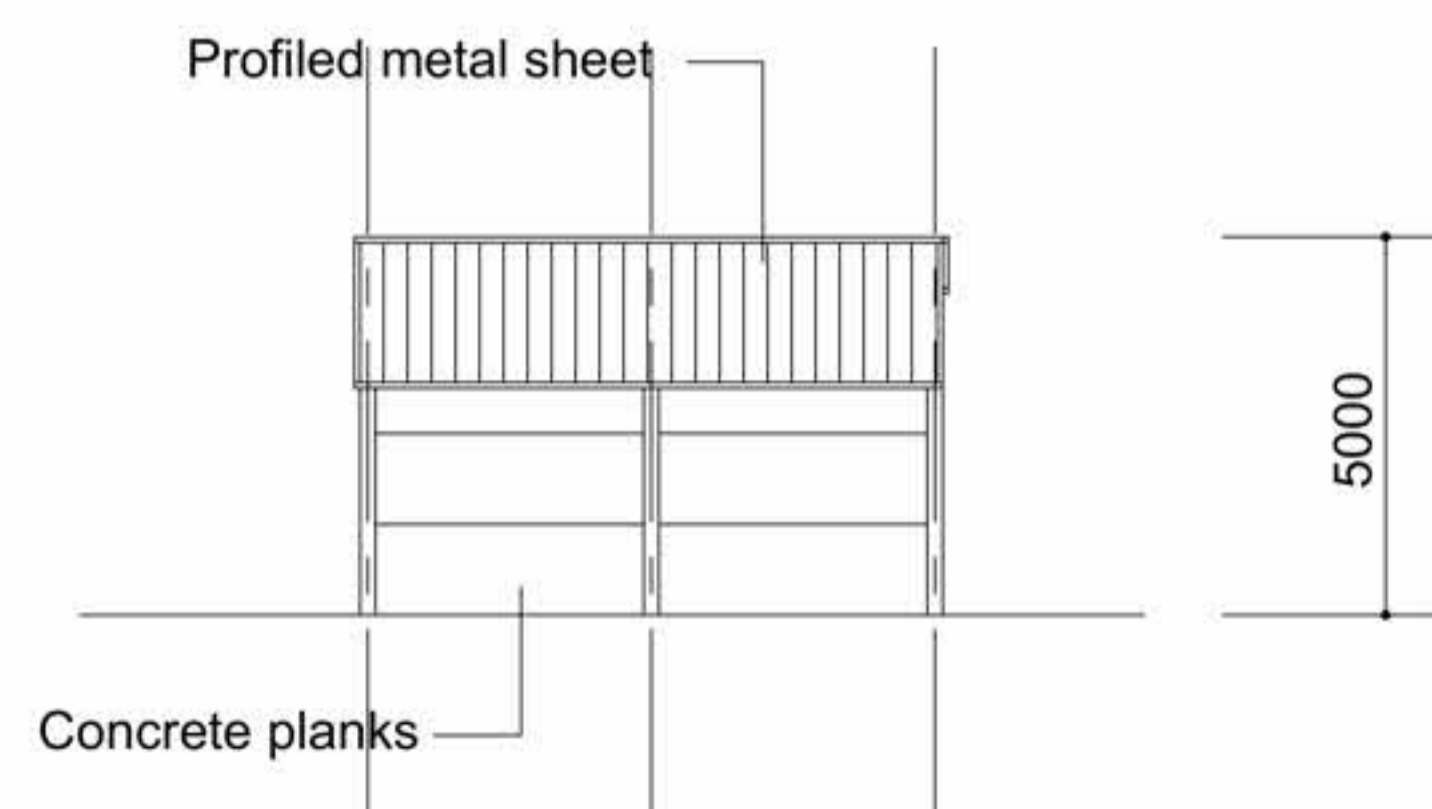
North Elevation



West Elevation



South Elevation



East Elevation

PRELIMINARY

Rev.	Date	Revision



Soil Treatment Plant  
 Bridge Street North, Smethwick

Post Treatment Bays  
 Plans and Elevations

Sean M Fitzpatrick BSC CEng MStructE  
 Consulting Engineer

40 Measham Road  
 Acreford,  
 DE12 8AJ

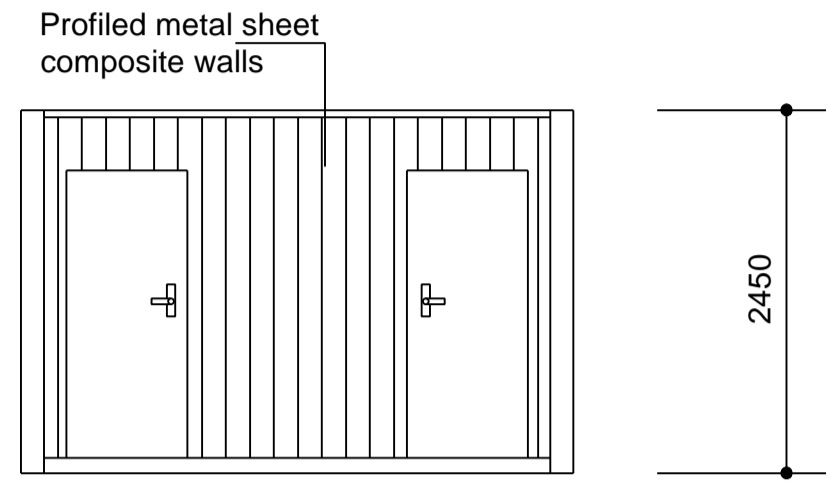
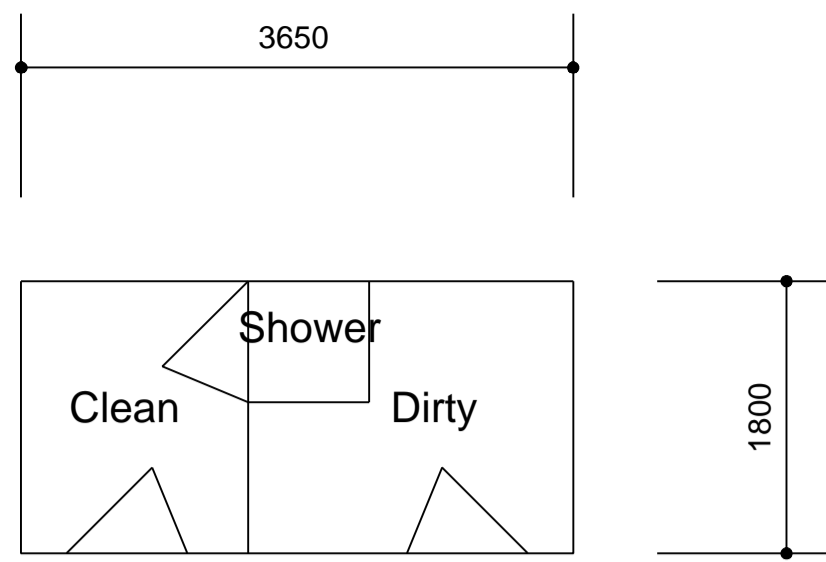
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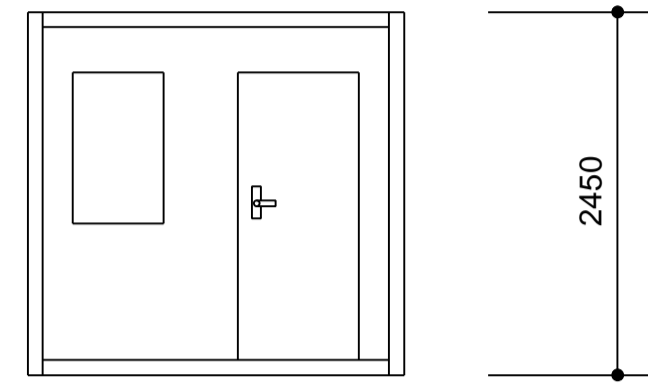
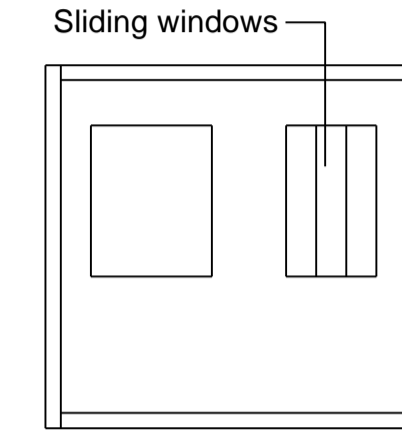
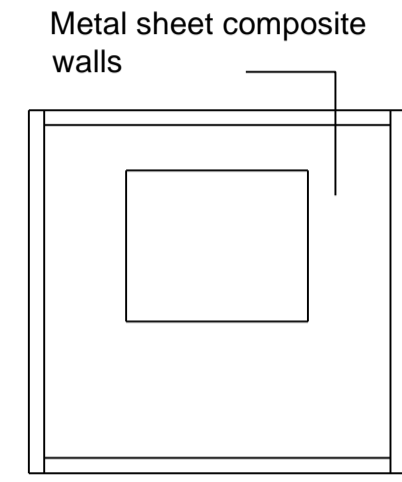
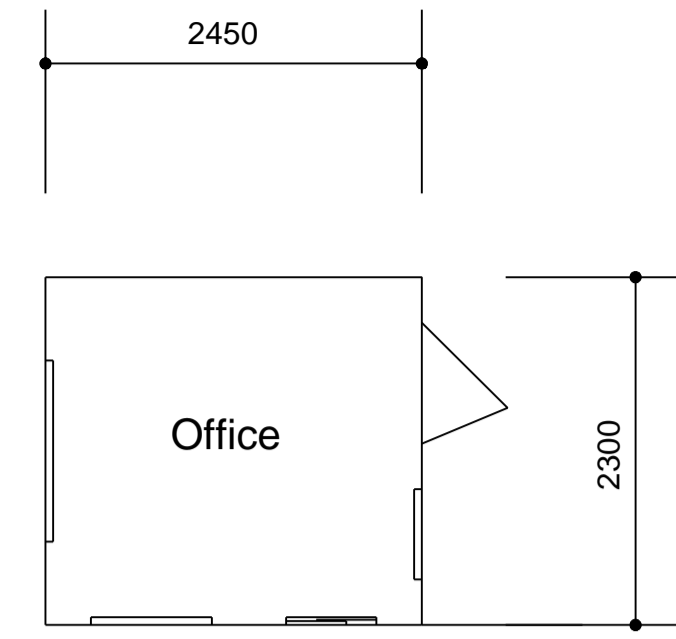
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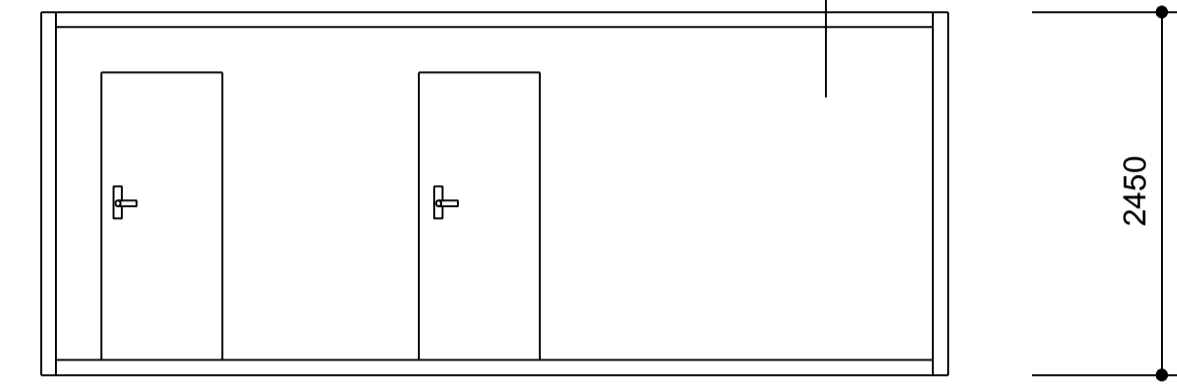
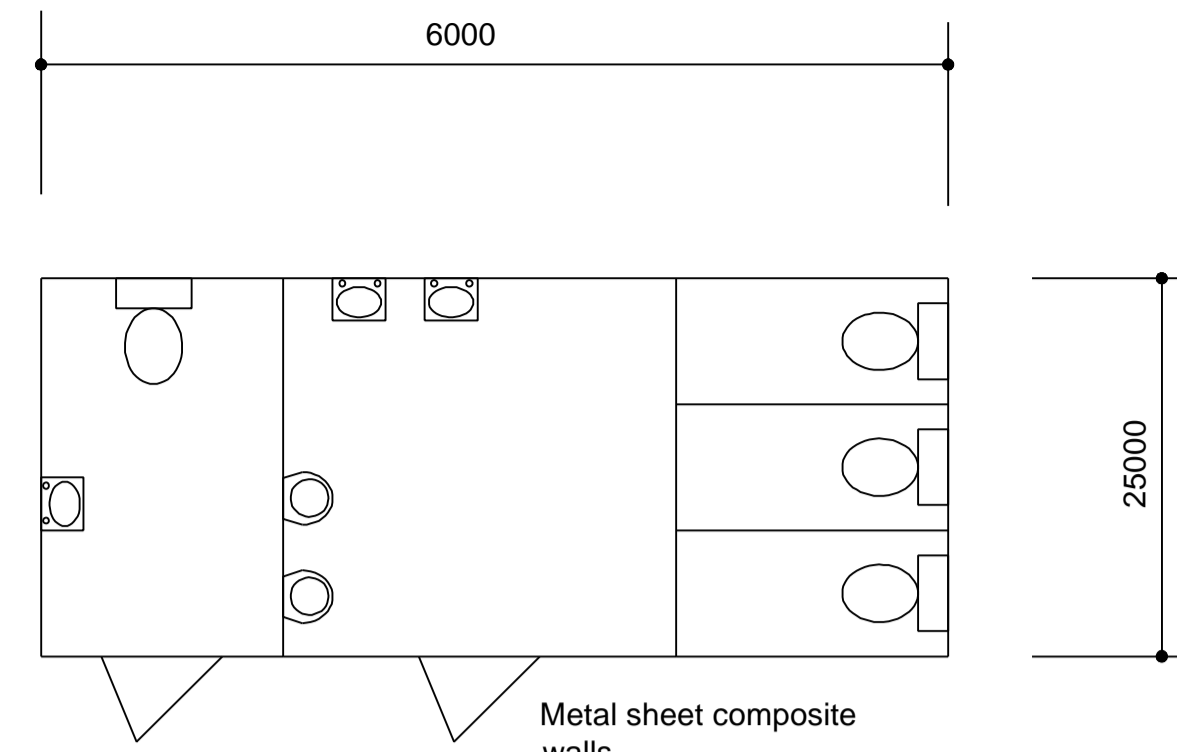
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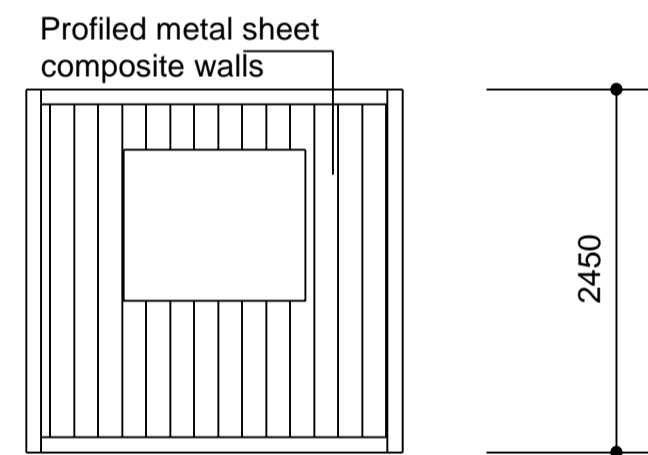
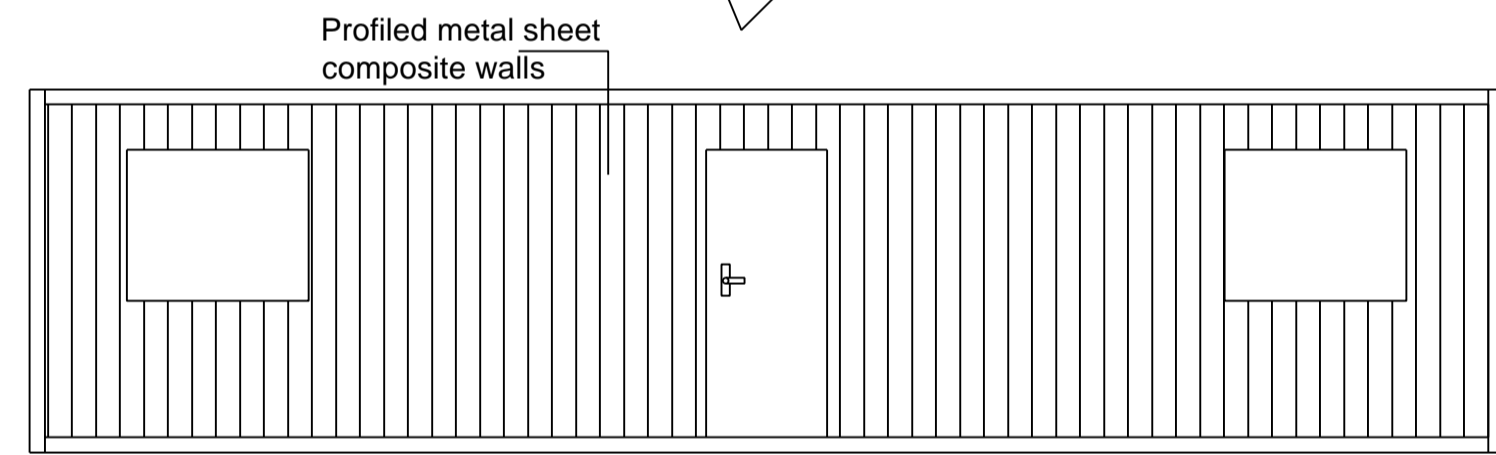
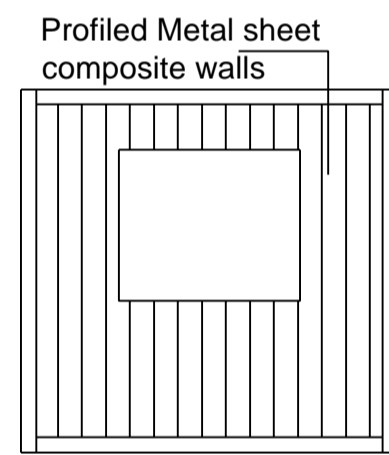
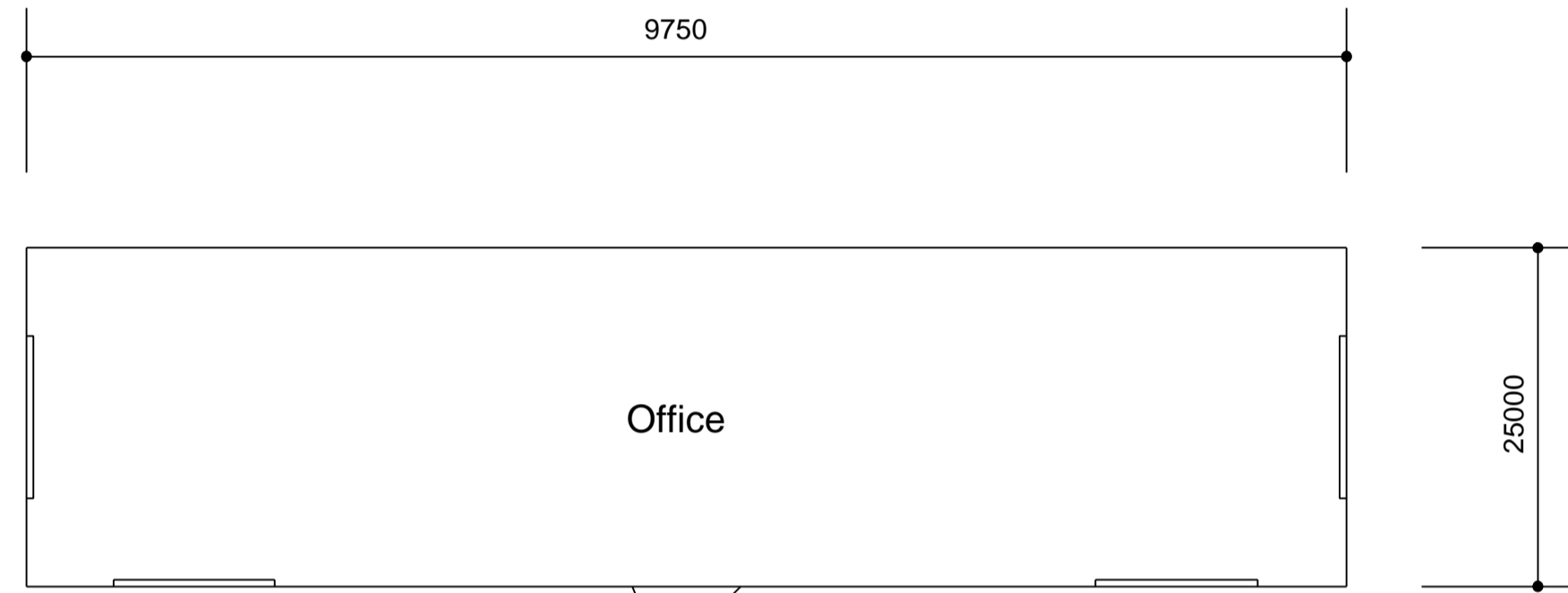
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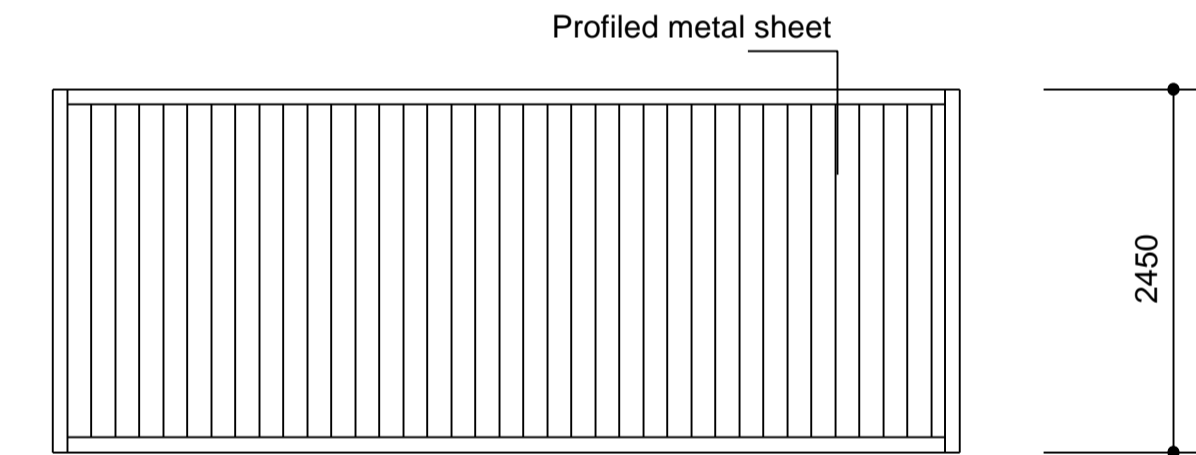
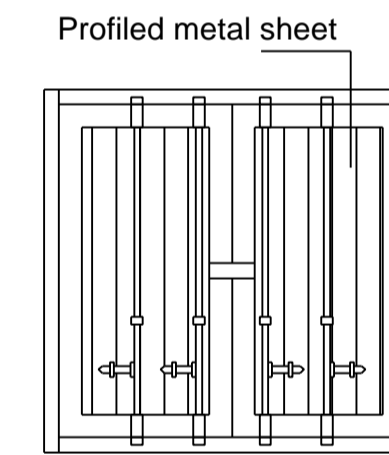
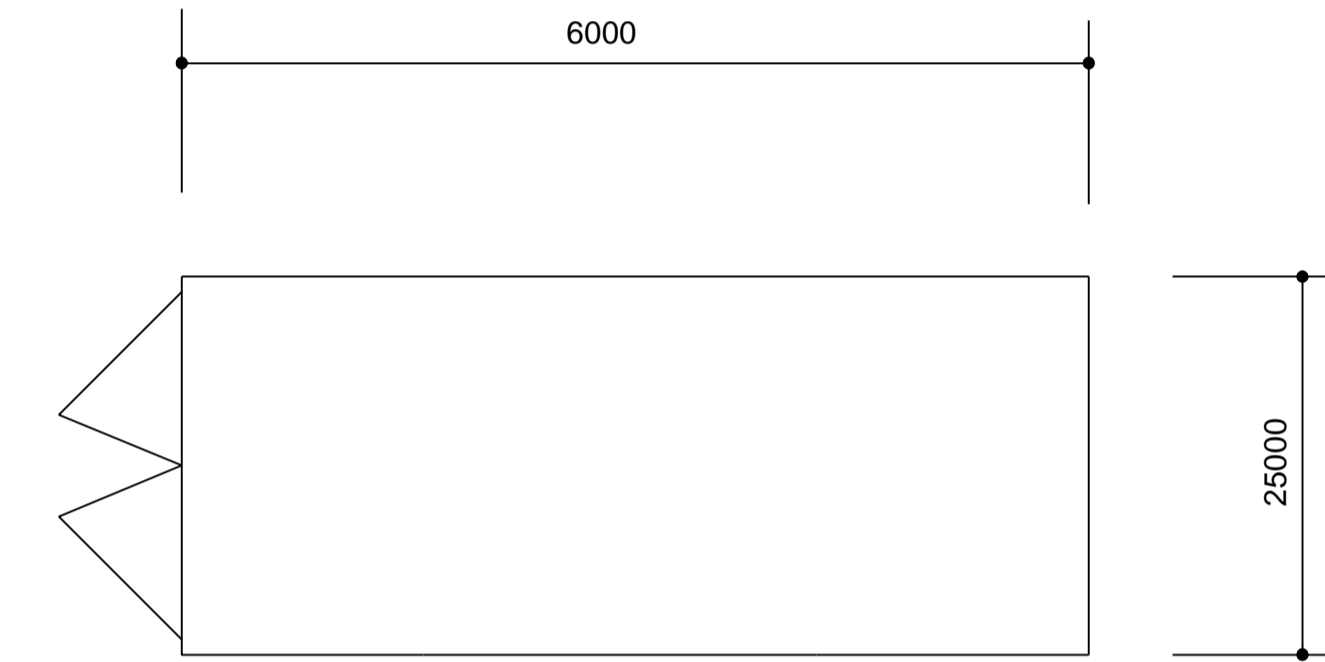
Weighbridge Office



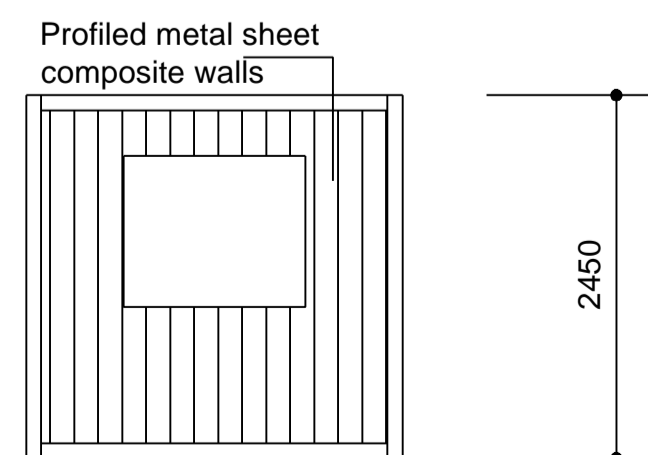
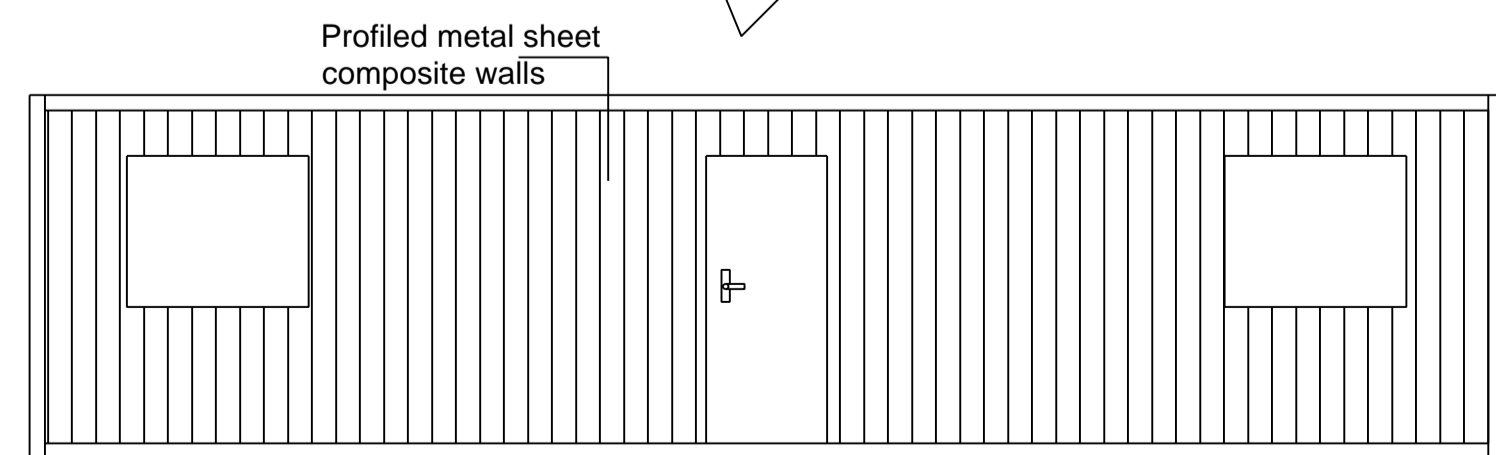
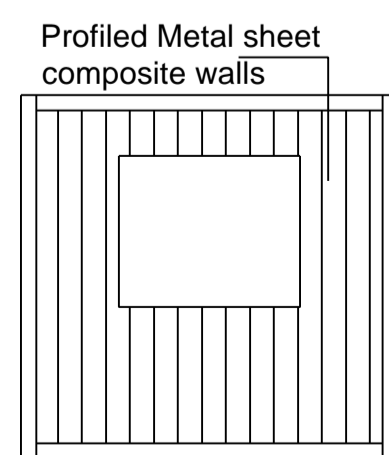
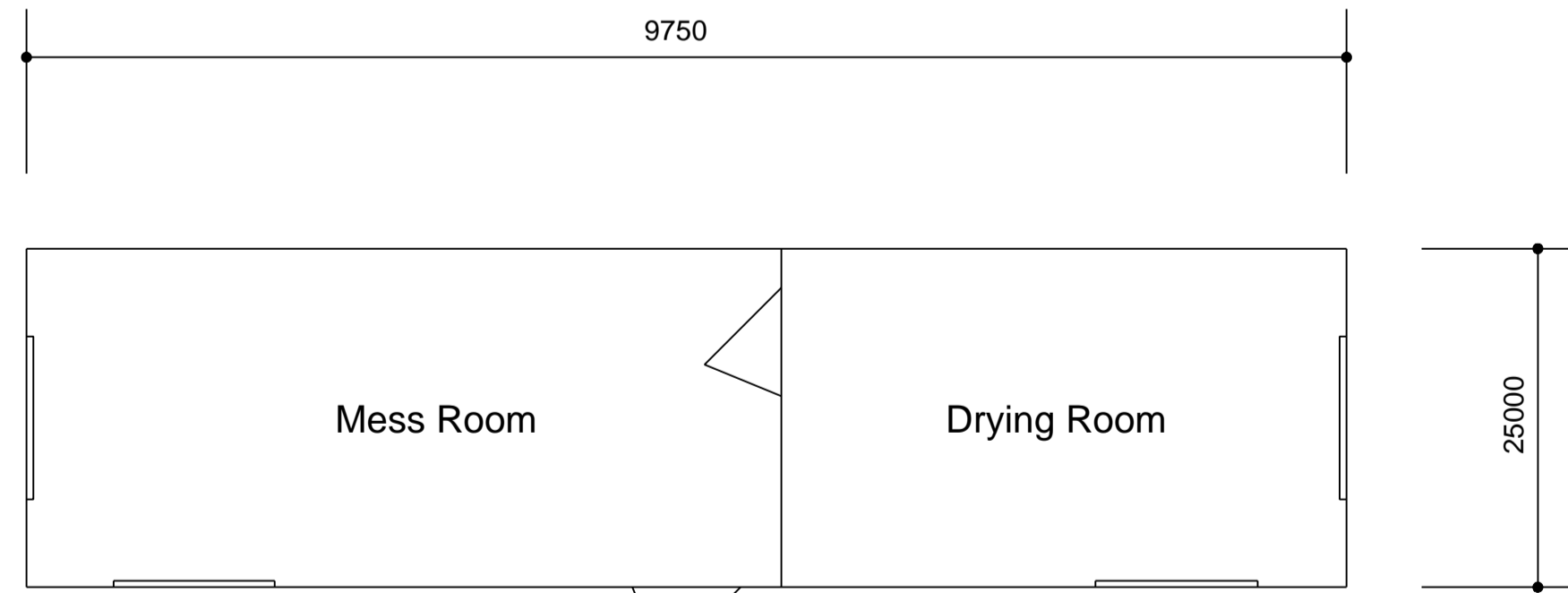
Toilet Unit



Office Units / Meeting room similar



Store



Mess / Drying Room

PRELIMINARY

Rev.	Date	Revision

Soil Treatment Plant  
Bridge Street North, Smethwick

Site Accommodation  
Plans and Elevations

Sean M Fitzpatrick BSC CEng MStructE  
Consulting Engineer



40 Measham Road  
Acreford,  
DE12 8AJ

Drawn by: SMF Date: 14/12/2022

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Drawing No. 102201/P300 Rev. -

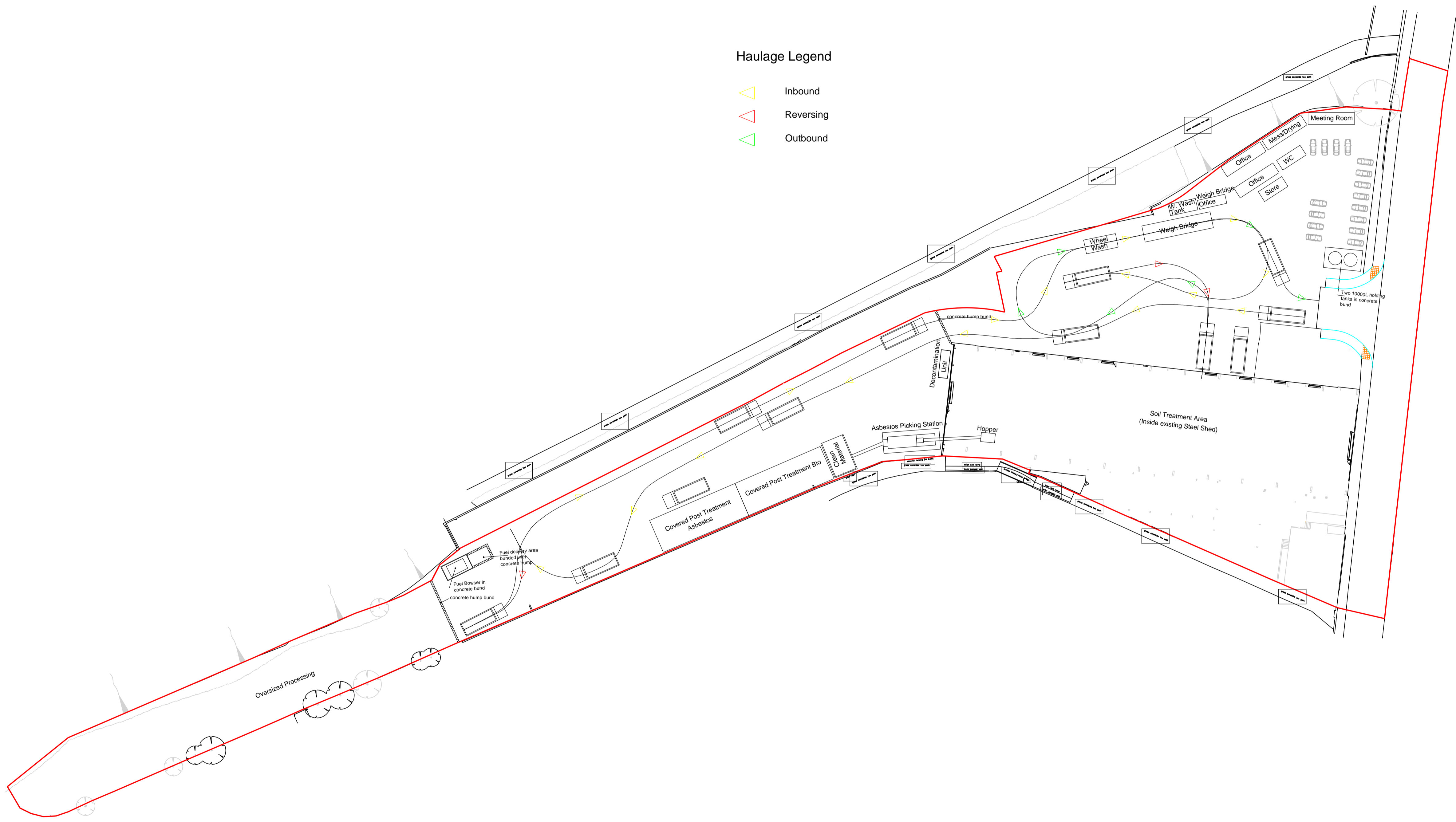


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 This drawing is to be read in conjunction with all relevant documents

NOTES

Haulage Legend

- ▶ Inbound
- ▶ Reversing
- ▶ Outbound



PRELIMINARY

Rev.	Date	Revision
A	13/12/22	Site Boundary added and site layout revised to suit



Soil Treatment Plant  
 Bridge Street North, Smethwick

Site General Arrangement  
 Plan

Sean M Fitzpatrick BSC CEng MStructE  
 Consulting Engineer



40 Measham Road  
 Acreford,  
 DE12 8AJ

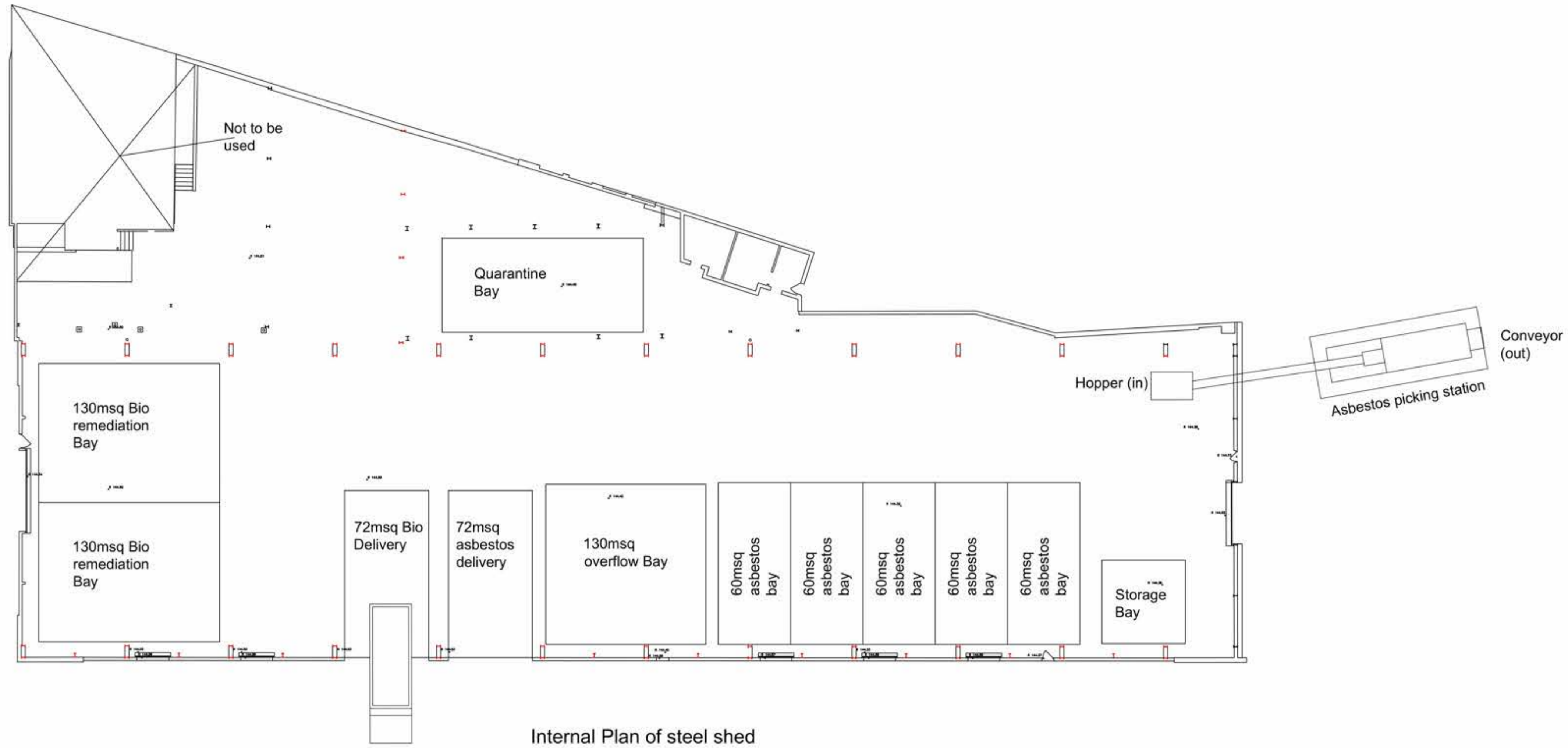
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Drawing No.	102201/P100	Rev.	A
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All levels and dimensions are to be checked on site.  
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NOTES



PRELIMINARY

Rev.	Date	Revision



Soil Treatment Plant  
Bridge Street North, Smethwick

Soil Treatment Shed  
Internal Floor Plan and Elevations

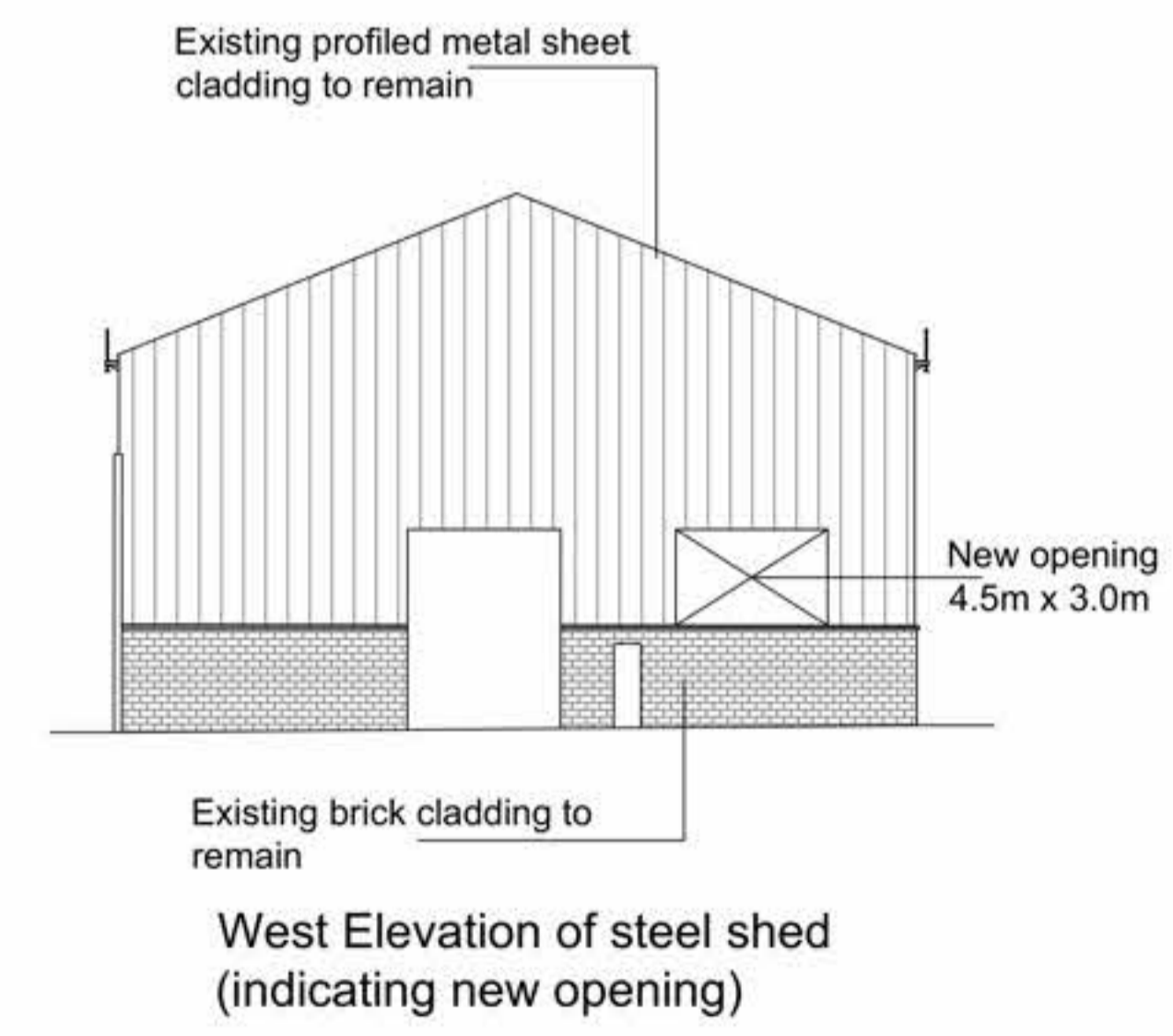
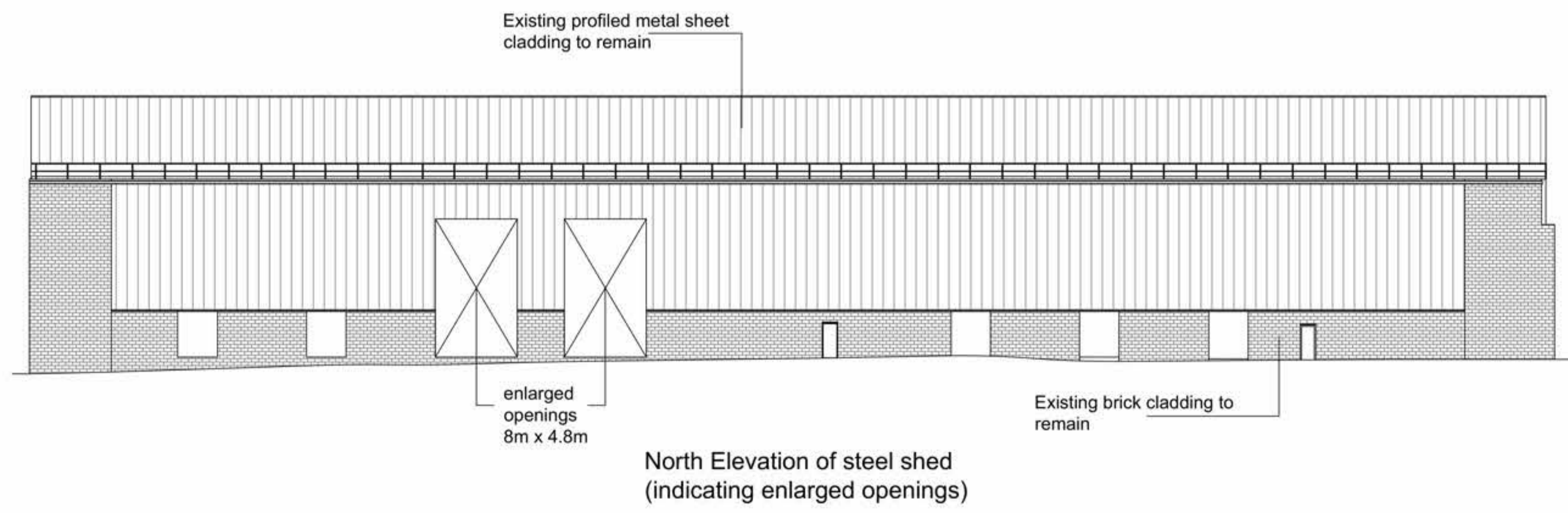
Sean M Fitzpatrick BSC CEng MStructE  
Consulting Engineer

40 Measham Road  
Acreford,  
DE12 8AJ

Drawn by: SMF Date: 14/12/2022

Scale: 1:200 @ A1

Drawing No. 102201/P200 Rev. -



## Report to Planning Committee

**10 May 2023**

<b>Application Reference</b>	DC/23/67957
<b>Application Received</b>	07 February 2023
<b>Application Description</b>	Proposed replacement sections, refurbishment and associated works in connection with the existing care home (Use Class C2) to include: external alterations, two storey front/side extension with photovoltaic solar panels on roof and glazed canopy over main entrance, single storey extension overlooking courtyard garden area, two storey enclosed staircase to rear, outbuildings to include Occupational Therapy cabin, maintenance shed and bin store, installation of EV charging points to car park, boundary wall/fencing and landscaping.
<b>Application Address</b>	Beech Croft Residential Home Salop Drive Oldbury B68 9AG
<b>Applicant</b>	Cygnets Behavioural Health Limited
<b>Ward</b>	Bristnall
<b>Contact Officer</b>	Mr Andrew Dean andrew_dean@sandwell.gov.uk



# 1 Recommendations


1.1 That planning permission is granted subject to conditions relating to:

- i) External materials.
- ii) Electric Vehicle Charging points.
- iii) Low NOx boilers.
- iv) Construction management plan compliance.
- v) External lighting scheme.
- vi) Contaminated Land.
- vii) Privacy scheme for room windows FF31 and FF25.

# 2 Reasons for Recommendations

2.1 The proposed extension and alterations to the existing care home are acceptable in design and scale and raise no concerns from a residential amenity perspective.

# 3 How does this deliver objectives of the Corporate Plan?

	Strong resilient communities
---	------------------------------

# 4 Context

4.1 The application is being reported to your committee at the request of Councillor Fenton and because 20 objections and a 67-signature petition against the proposal have been received.

4.2 To assist members with site context, a link to Google Maps is provided below:

[Beech Croft Residential Home](#)



## 5 Key Considerations

- 5.1 The site is unallocated in the Development Plan.
- 5.2 The material planning considerations which are relevant to this application are: -

Government policy (NPPF)  
Planning history (including appeal decisions)  
Overlooking/loss of privacy  
Loss of light and/or outlook  
Design, appearance and materials  
Access, highway safety, parking and servicing

## 6. The Application Site

- 6.1 The application relates to a residential care home located on the western side of Salop Drive, Oldbury. The application site is surrounded on three side by residential properties with a garage court and an allotment site located on the opposite side of Salop Drive.

## 7. Planning History

- 7.1 The site has been subject to a number of applications for extensions dating back to the mid 1990's, all of which have been granted approval. Demolition consent was granted for the single-story element at the front of the care home to be demolished in December 2022. The care home is a historic use of the site.
- 7.2 Relevant planning applications are as follows:

PD/22/02285	Proposed demolition of front single storey building.	Grant Demolition Consent 19.12.2022
DC/12/54459	Proposed laundry extension.	Grant Permission 09.05.2012



DC/00/36733	Dining room extension.	Grant Permission 17.08.2000
DC/96/32532	Single storey bedroom, office and lounge extensions.	Grant Permission with External Materials 16.08.1996

## 8. Application Details

- 8.1 The applicant is proposing extensions, the refurbishment and associated works in connection with the existing care home (Use Class C2) to include: external alterations, two storey front/side extension with photovoltaic solar panels on roof and glazed canopy over main entrance, single storey extension overlooking courtyard garden area, two storey enclosed staircase to rear, outbuildings to include Occupational Therapy cabin, maintenance shed and bin store, installation of EV charging points to car park, boundary wall/fencing and landscaping.
- 8.2 The proposed two storey front/side extension would be L shaped in design and would connect the existing two storey elements of the care home. The extension would also include a single storey element facing onto the enclosed court yard. The extension measured external would measures 31.5 metres by 22 metres with an overall height of 7.1 metres.
- 8.3 The proposed wooden cabin would measure 14 metres by 8.3 metres with an overall height of 3.2 metres.
- 8.4 The proposed maintenance shed would measure 5.3 metres by 4.1 metres with an over height of 2.77 metres. The proposed bin store would be adjacent to the maintenance shed and measure 2.2 metres by 4 metres with an over height of 2.2 metres. The elevations of both structures would be timber cladding.
- 8.5 The applicant has submitted an amended plan to reduce the height of the proposed rear boundary fence from the originally proposed 3 metres to 2.4 metres. The windows serving rooms G28 and F25 have also been



moved to the right by 0.5 metre to not directly overlook the rear elevation of the flats at the rear.

8.6 Minor other alterations to the existing building include the replacement of windows, the removal of an existing metal fire escape, removal of roof plant and water tanks and solar panels to the roof of the proposed two storey extension.

## 9. Publicity

9.1 The application has been publicised by neighbour notification letter, with 20 objections and a 67-signature petition being received. All objections and the petition raised concerns regarding the potential use of the property.

## 9.2 Objections

Objections have been received on the following grounds:

- i) The proposal would result in a loss of privacy and overlooking to neighbouring properties.
- ii) The proposal would result in a loss of outlook.
- iii) The proposed fence is large and out of character for a residential area.
- iv) Concerns regarding the risk solar panels poses in terms of health.
- v) The proposal raises concerns from increase noise and disturbance.
- vi) Some residents were not notified of the application.

Non-material objections have been raised regarding loss of property value.

In terms of the use of the property, residents raised concerns regarding a lack of information regarding the proposed use of the building by the applicant. Residents researched the applicant and were concerned that potential residents could be criminals or people committed under the



Mental Health Act. This has resulted in a fear of crime/safety concerns for residents.

### 9.3 Responses to objections

I respond to the objector's comments in turn:

- i) Taking into consideration the existing building/separation distances and the already demolished single storey section, I do not consider the proposed development would result in a significant loss of privacy or increased overlooking to neighbouring properties. To ensure privacy is protected for the flats on Salop Drive located on a lower ground level, a privacy scheme for bedroom windows F31 and F25 has been included within the recommendation. This scheme would consist of a privacy film being added to  $\frac{3}{4}$  of the windows to prevent overlooking.
- ii) Taking into consideration the existing building and already demolished single storey section, I do not consider the proposed development would result in a significant loss of outlook to neighbouring properties.
- iii) The applicant has reduced the height of the fence from the originally proposed 3 metres to 2.4 metres. Given the levels change on the site, I do not consider this to be overly high to result in a loss of amenity to neighbours.
- iv) I am not aware of health issues relating to solar panels and are common place on the roofs of residential properties. The solar panels would be located on the flat roof of the proposed two storey extension.
- v) I suspect this point was raised regarding the potential use of the building by the applicant. In terms of the proposal, I do not consider the proposed extension and other proposals within the description of development would result in significant noise disturbance to residents. A condition for a construction management plan has been included within the recommendation.





- vi) All neighbours with a physical boundary to the site were consulted on the application in accordance with the requirement of The Town and Country Planning (Development Management Procedure).

In terms of the use, a change of use of the property has not been included within the description of development by the applicant. Firstly, it should be noted that the current use of Beech Croft Care Home falls within Use Class C2 (Residential institution). This use class includes a range of different uses which includes residential care homes, hospitals, nursing homes, boarding schools, residential colleges and training centres. Residents fear the applicants will use the property as a C2A (Secure Residential Institution) which includes uses such as a prison, young offenders institution, detention centre, secure training centre, custody centre, short term holding centre, secure hospital, secure local authority accommodation or use as a military barracks.

Following concerns being raised by residents, the applicant provided an operator statement which was sent to all objectors to the application. The applicant also confirmed they would be undertaking a leaf drop to residents. The applicants state the use would be for care facility for women suffering from mental health issues and the use of the property would not be for the primary provision of confinement. No specialist internal or external security features would be required or installed, and no onsite security would be provided. Following additional concerns from a resident, the applicant has provided the below statement.

*This is not a low secure unit, it is an acute service. Acute services provide a safe and stabilising environment for individuals who are experiencing an acute episode of mental illness.*

*The ethos is about assessing and treating service users in the least restrictive environment and planning for discharge in a robust and timely fashion. With a focus on stabilisation, we support service users to manage their mental health, reinforce daily living skills and prepare for independent life back in the community. Our team works closely and collaboratively with service users, their families and the referrer to*



*provide a seamless pathway from referral to discharge. Our approach is recovery focused and supported by a comprehensive multi-disciplinary team, contributing to shorter lengths of stay.*

*In keeping with the NHS definition an acute service is: ‘... a therapeutic environment [to] provide the best opportunity for recovery. It is important that care is purposeful, patient-orientated and recovery-focused from the outset, so that people have a good experience of care and do not spend more time in hospital than necessary.’ (Therapeutic inpatient mental health care, <https://www.england.nhs.uk/mental-health/adults/crisis-and-acute-care/>)*

*There is a possibility some patients may be referred for treatment because they are detained under the Mental Health Act and this is often because they are at risk of self-harm or suicide. This is very much a protective measure to ensure their own safety and can be part of the process in supporting them safely along their care pathway. The service will also support ‘informal’ patients, who are individuals who are admitted voluntarily and are seeking support to overcome their mental health challenges. The fact that these two different admission criteria can be accepted in this setting distinguishes the difference between this type of care setting and that of a secure facility.*

*This does not constitute a ‘low secure unit’ and therefore isn’t a change in specification because:*

- It is not one of security, detention and containment.*
- The operational standards are in place for the safety of residents who live and receive care on site.*
- Security considerations are wholly subsidiary with no specialist internal or external security features included or needed for the proposed use.*

*Cygnets are mindful of their neighbours, staff and other residents, and will not accept referrals from anyone who poses a risk to the community. It is not a step-down service for ex-offenders nor is it a rehabilitation centre for alcohol or substance misuse. The service is very much about*



*supporting women through treatment for mental health challenges, so they will be seeking to feel well again and recover in a place of safety.*

In relation to the above statement from the applicant, there will be circumstances whereby, it would now appear, some residents may be referred for treatment because they are detained under the Mental Health Act, however, from the information provided this is not because they would be a danger to the wider society and would in fact be a risk to themselves. The Local Planning Authority are therefore still of the opinion this would fall under care (Use Class C2) and it doesn't suggest the facility would be any more secure than any other type of care home. Therefore, under the Town and Country Planning Act (Use Classes Order) 1987 (As Amended) there would be no material change of use and the application is to be assessed on the current description of development.

However, should there be a material change of use occur in the future, the Local Planning Authority can investigate the matter using Planning Enforcement powers.

The submitted petition makes reference to the absence of a Section 106 agreement. Section 106 agreements are now largely used to secure affordable housing and when there is a need to make a development acceptable in other planning terms. In this instance, the Local Planning Authority are unable to restrict the use of an existing property to other uses within the same use class, which is a permitted change.

## **10. Consultee responses**

10.1 **Highways** – No objections.

10.3 **Public Health (Air Quality)**

No objection subject to conditions relating to electric vehicle charging points, low NOx boilers and a construction management plan.



## 10.4 Public Health (Contaminated Land)

No objection subject to the standard contaminated land condition.

## 10.5 Public Health (Air Pollution and Noise)

No objection subject to conditions contained within the recommendation relating to a construction management plan compliance and an external lighting scheme.

## 11. National Planning Policy

11.1 National Planning Policy Framework promotes sustainable development but states that local circumstances should be taken into account to reflect the character, needs and opportunities for each area.

## 12. Local Planning Policy

12.1 The following policies of the council's Development Plan are relevant:

ENV3: Design Quality

ENV8: Air Quality

SAD EOS9: Urban Design Principles

12.2 ENV3 and SAD EOS9 refers to well-designed schemes that provide quality living environments. The layout and design of the proposal are considered to be acceptable.

12.3 ENV8 refers to mitigation measures to offset air quality issues, in this instance a condition for electric vehicle charging points has been included within the recommendation and the applicant would be providing solar panels on the roof to generate electricity.



### 13. Material Considerations

13.1 National and local planning policy considerations have been referred to above in Sections 11 and 12. With regards to the other material considerations, these are highlighted below:

#### 13.2 Proposals in the Development Plan

The site is unallocated in the development plan.

#### 13.3 Planning history (including appeal decisions)

The application relates to extensions and alterations to an existing historic residential care home which falls under the C2 (Residential Institutions use class).

#### 13.4 Access, highway safety, parking, servicing and traffic generation

The Head of Highways has reviewed the proposal and raised no objections to the application on highway safety grounds.

#### 13.6 Loss of light and/or outlook, Overshadowing and loss of privacy.

Taking into consideration the existing building/separation distances and the already demolished single storey section, I do not consider the proposed development would result in a significant loss of privacy or increased overlooking to neighbouring properties. To ensure privacy is protected for the flats on Salop Drive located on a lower ground level, a privacy scheme for bedroom windows F31 and F25 has been included within the recommendation. This scheme would consist of a privacy film being added to  $\frac{3}{4}$  of the windows to prevent overlooking.

#### 13.7 Public visual amenity

I am satisfied the proposed two storey front extension/side extension and alteration to the existing building proposed by the application would



modernise the dated structure and improve its appearance in the street scene.

## 14 Alternative Options

14.1 Refusal of the application is an option if there are material planning reasons for doing so. In my opinion the proposal is compliant with relevant polices and there are no material considerations that would justify refusal.

## 15 Implications

<b>Resources:</b>	When a planning application is refused the applicant has a right of appeal to the Planning Inspectorate, and they can make a claim for costs against the Council.
<b>Legal and Governance:</b>	This application is submitted under the Town and Country Planning Act 1990.
<b>Risk:</b>	None.
<b>Equality:</b>	There are no equality issues arising from this proposal and therefore an equality impact assessment has not been carried out.
<b>Health and Wellbeing:</b>	None.
<b>Social Value</b>	None.
<b>Climate Change</b>	Sandwell Council supports the transition to a low carbon future, in a way that takes full account of the need to adapt to and mitigate climate change. Proposals that help to shape places in ways that contribute to radical reductions in greenhouse gas emissions, minimise vulnerability and improve resilience; encourage the reuse of existing resources, including the conversion of existing buildings; and support renewable and low carbon energy and associated infrastructure, will be welcomed.



## 16. Appendices

0002 REV G - AMENDED PROPOSED SITE PLAN

2003 REV F - AMENDED PROPOSED GROUND FLOOR PLAN

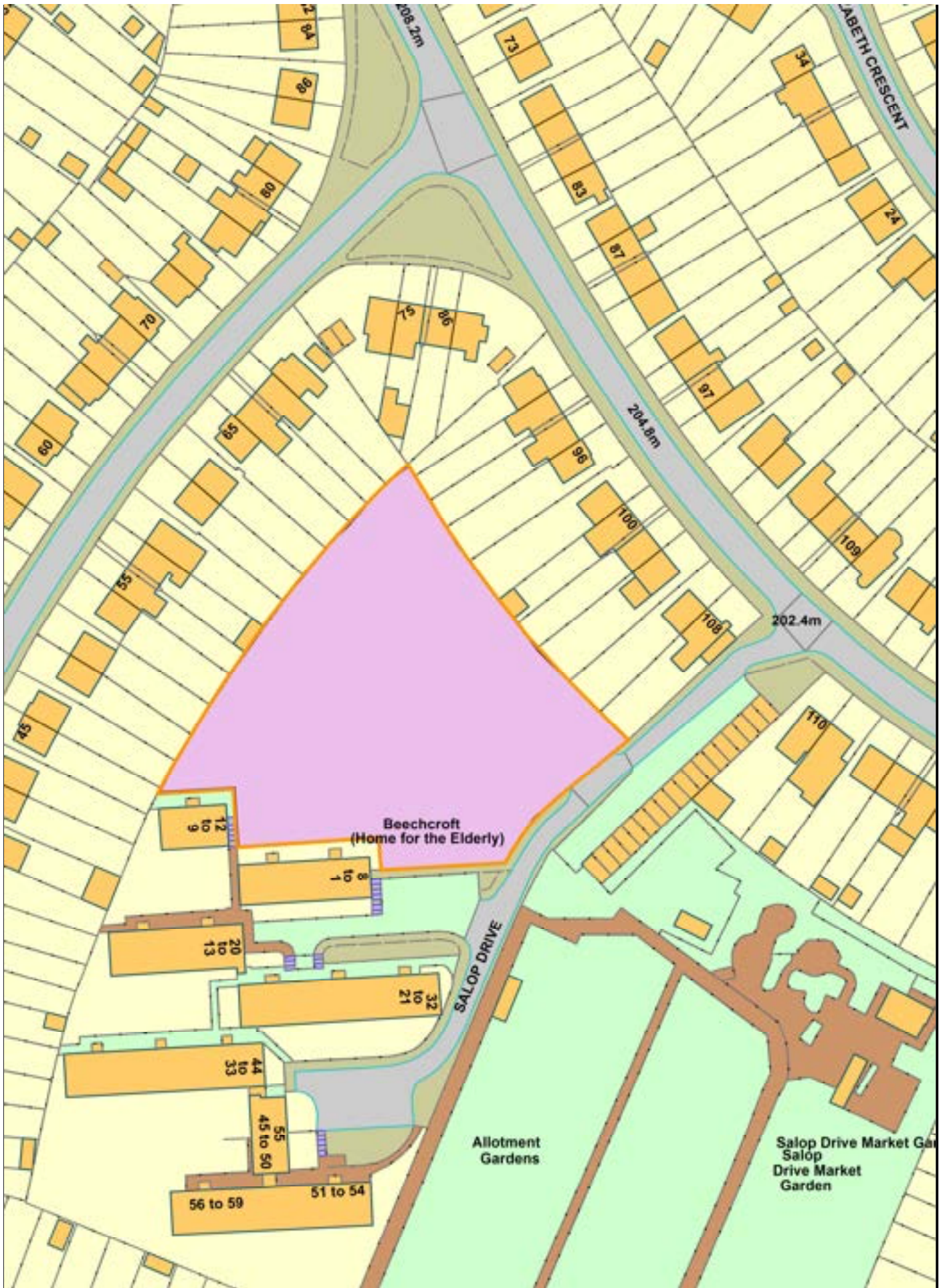
2004 REV G - AMENDED PROPOSED FIRST FLOOR PLAN

2006 REV H - AMENDED PROPOSED ELEVATIONS - SHEET 1

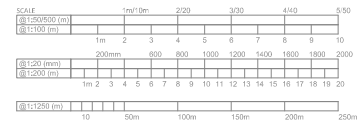
2007 REV F - AMENDED PROPOSED ELEVATIONS - SHEET 2

2060 REV A - BIN STORE/MAINTENANCE SHED









PROPOSED SITE LOCATION PLAN | SCALE 1:250

Dashed red line shows extent of Demolition (separate application).

PROPOSED SITE PLAN | SCALE 1:200



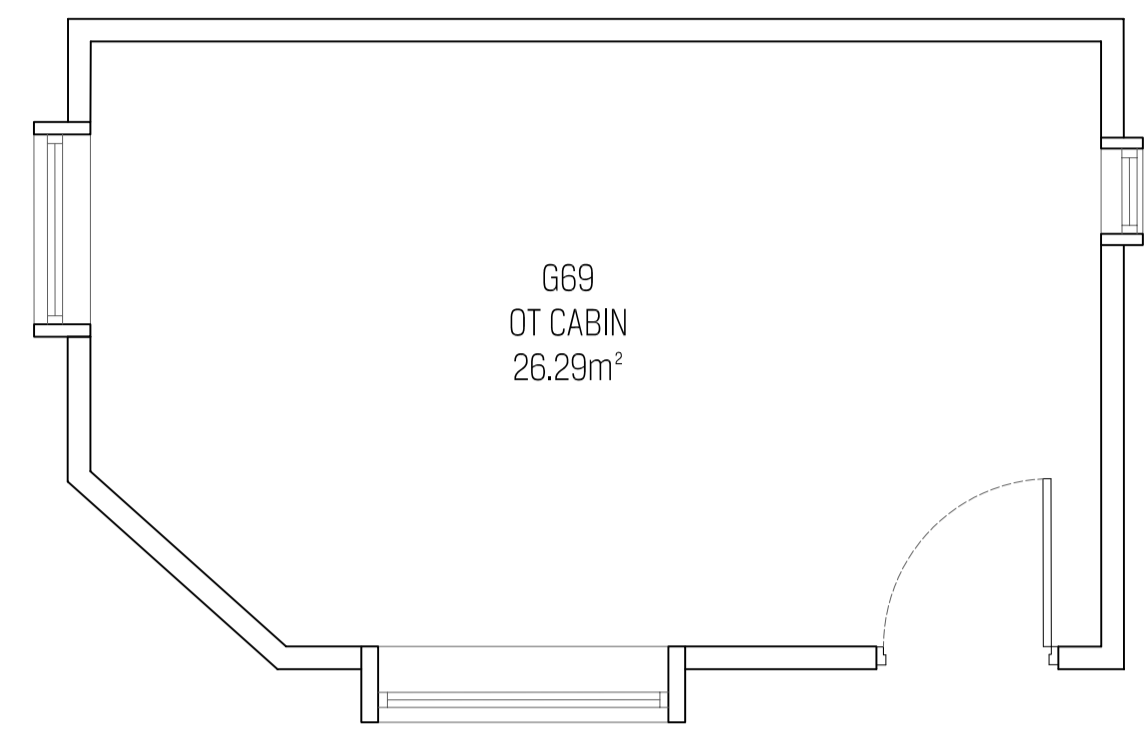
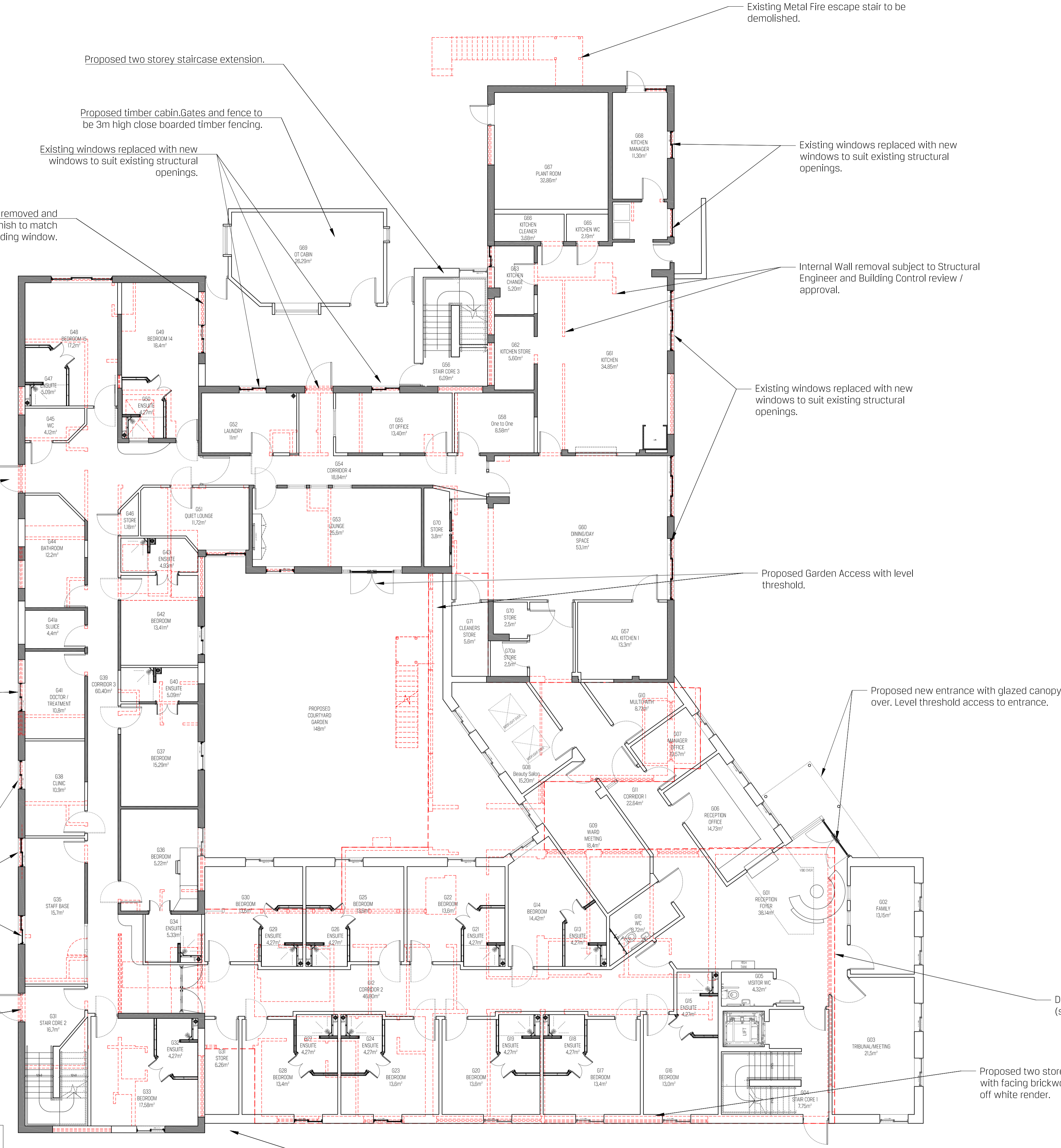
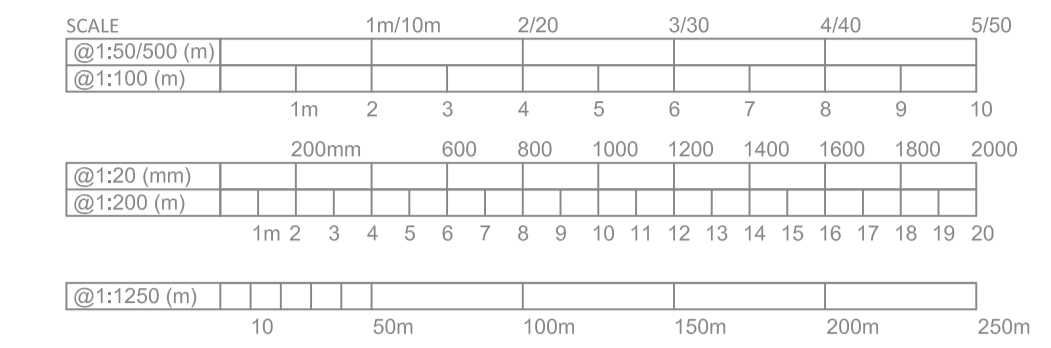
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		3	REVISION TO PERMIT	05/05/23
		4	REVISION TO PERMIT	06/06/23
		5	REVISION TO PERMIT	07/07/23
		6	REVISION TO PERMIT	08/08/23
		7	REVISION TO PERMIT	09/09/23
		8	REVISION TO PERMIT	10/10/23
		9	REVISION TO PERMIT	11/11/23
		10	REVISION TO PERMIT	12/12/23
			ISSUED FOR PERMIT	13/01/24
			ISSUED FOR PERMIT	14/02/24



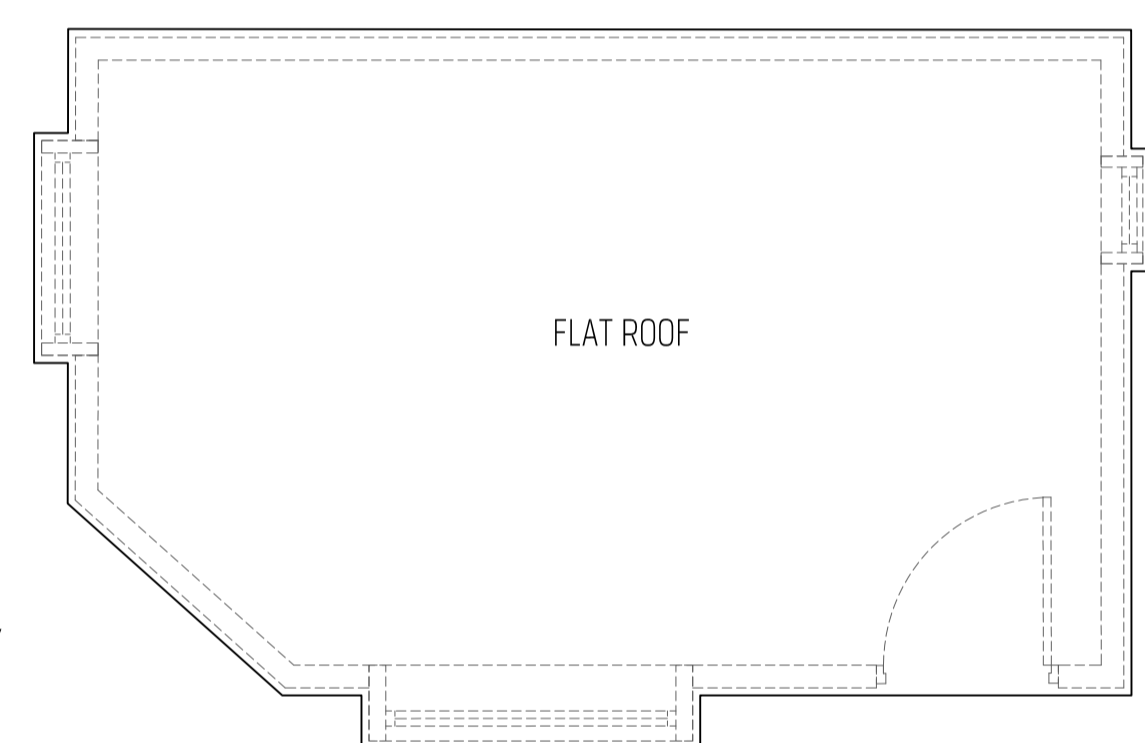
**SHACKARCHITECTURE**

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 T +44(0)1323 342 950 E info@shackarchitecture.com W www.shackarchitecture.com

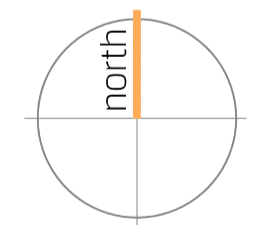
Client: CYGNET HEALTHCARE  
 Project: OLDBURY  
 Title: PROPOSED SITE PLAN  
 Dwg. No: 600026 - SHACK - V1 - 00 - DR - A - 0002 Rev H  
 Scale: VARE5@A1 Project No. SHACK598



OT CABIN GROUND FLOOR PLAN | SCALE 1:50



OT CABIN ROOF PLAN | SCALE 1:50



PLANNING	F	WINDOW TO G28 & F25 REPOSITIONED	GL	GL	13.04.23
	E	ISSUED FOR PLANNING	GL	GL	20.01.23
	D	ISSUED FOR COMMENT	GL	GL	17.01.23
	C	REVISED TO SUIT CLIENT COMMENTS	GL	GL	10.01.23
	B	ISSUED FOR COMMENT	GL	GL	03.01.23
	A	ISSUED FOR COMMENT	GL	GL	14.12.22
	REVISION		DRAWN	CHECKED	DATE

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PROPOSED GROUND FLOOR PLAN | SCALE 1:100

- GENERAL NOTES:
- All windows to be renewed to dark grey aluminum glazing.
  - Where making good all wall finishes to match existing finish.
  - all areas of hanging tile facade to be replaced with off white render finish.

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Client: **CYGNET HEALTHCARE**

Project: **OLDBURY**

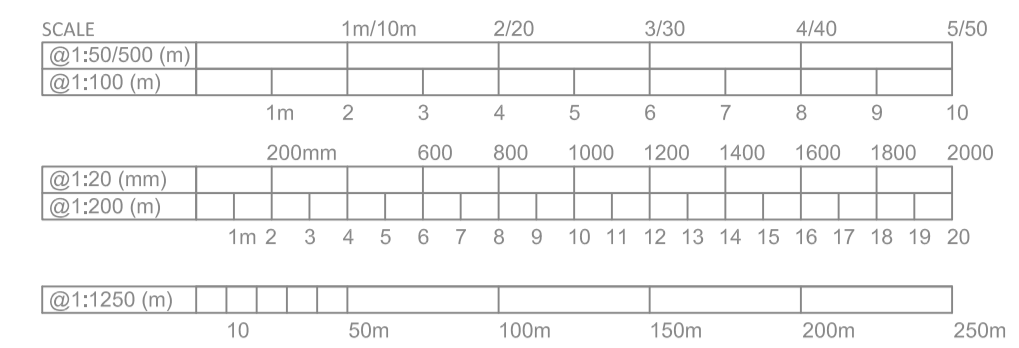
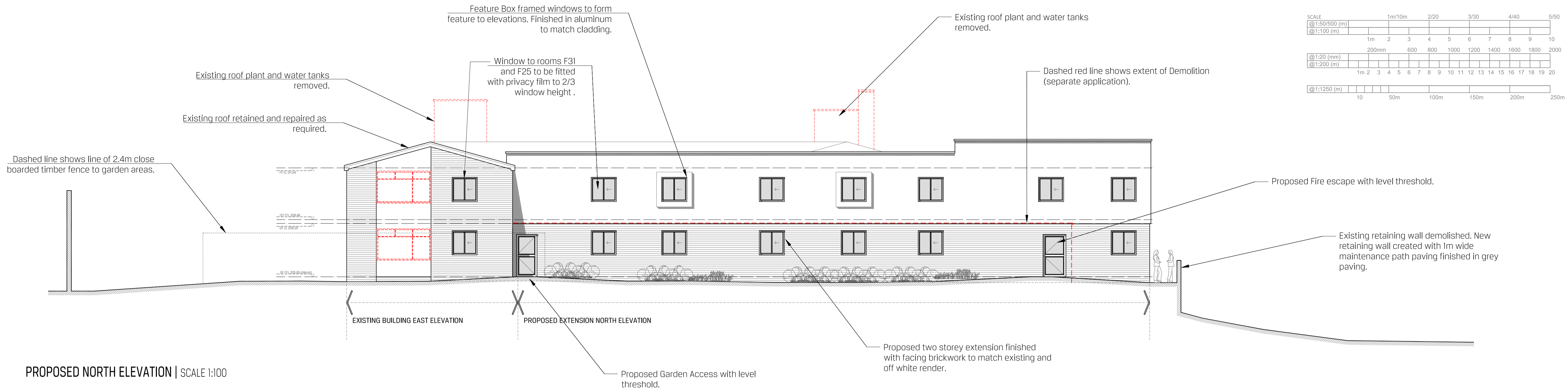
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Dwg. No. **600026 - SHACK - VI - 00 - DR - A - 2003 Rev F**

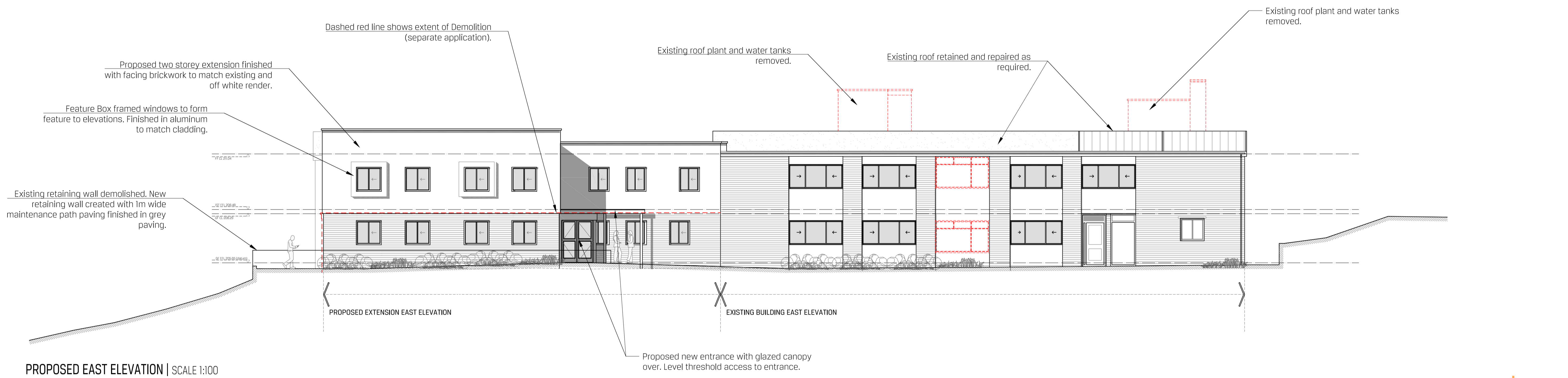
Scale: **VARIABLES@A1** Project No. **SHACK598**



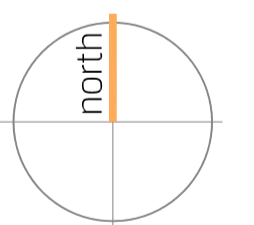




PROPOSED NORTH ELEVATION | SCALE 1:100



PROPOSED EAST ELEVATION | SCALE 1:100



**GENERAL NOTES:**

- All windows to be renewed to dark grey aluminum glazing.
- Where making good all wall finishes to match existing finish.
- all areas of hanging tile facade to be replaced with off white render finish.

REVISION	DRAWN	CHECKED	DATE
A			15.12.22
B			03.01.23
C			10.01.23
D			17.01.23
E			20.01.23
F			04.04.23
G			13.04.23
H			25.04.23

STATUS

PLANNING

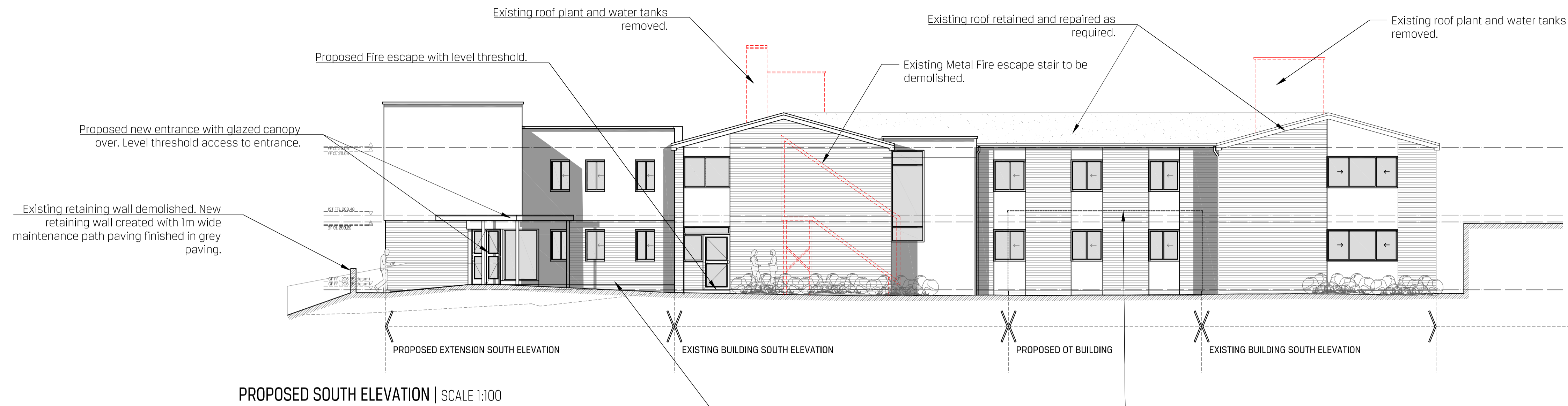
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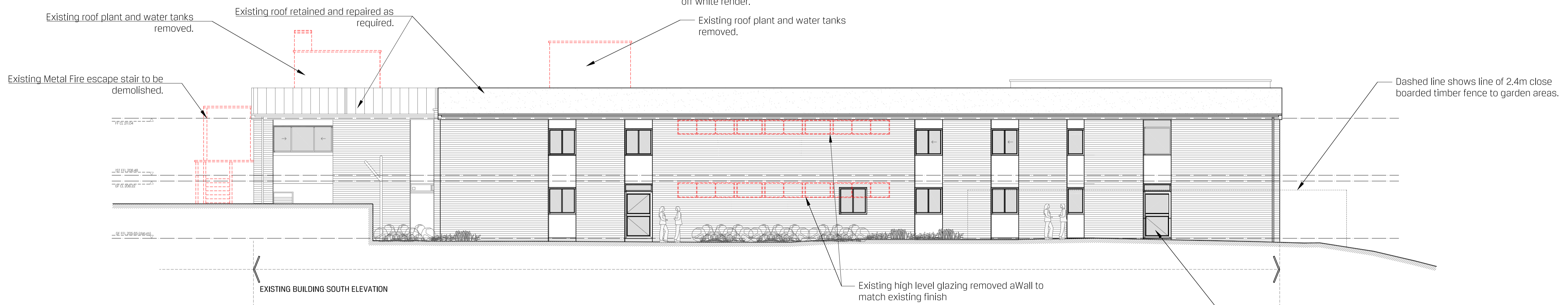
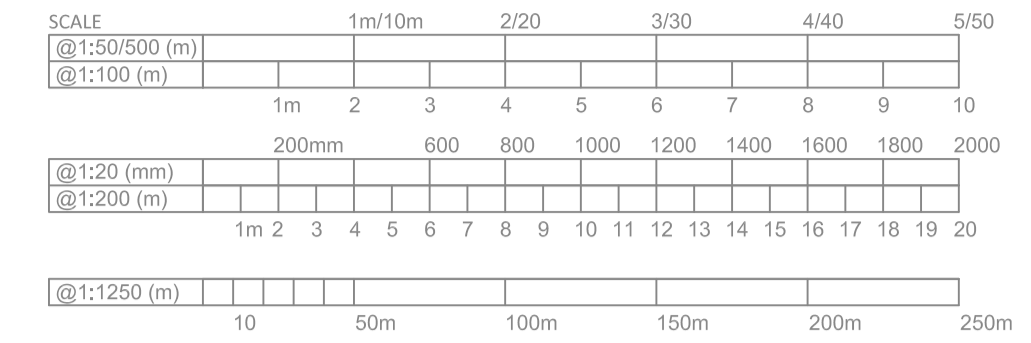
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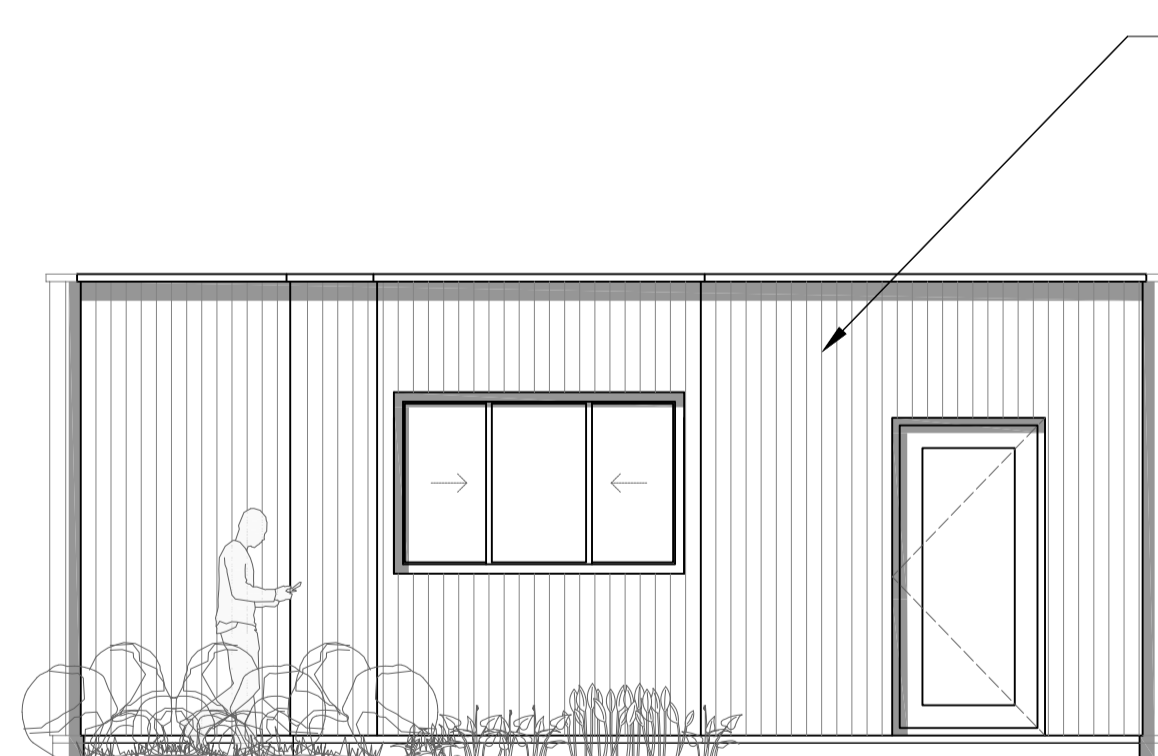
Client: CYGNET HEALTHCARE  
Project: OLDBURY  
Title: PROPOSED ELEVATIONS SHEET 01  
Dwg. No. 600026 - SHACK - VI - XX - DR - A - 2006 Rev H  
Scale: VARIES@A1 Project No. SHACK598



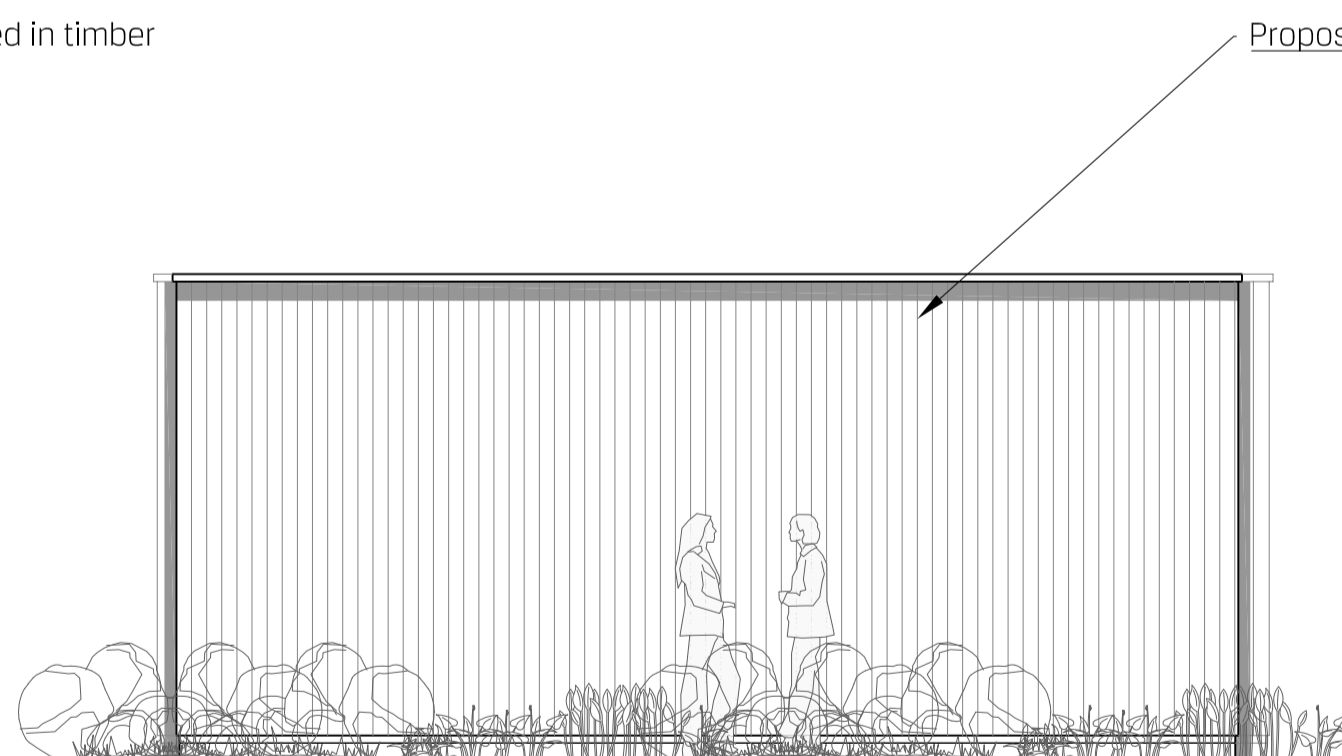
PROPOSED SOUTH ELEVATION | SCALE 1:100



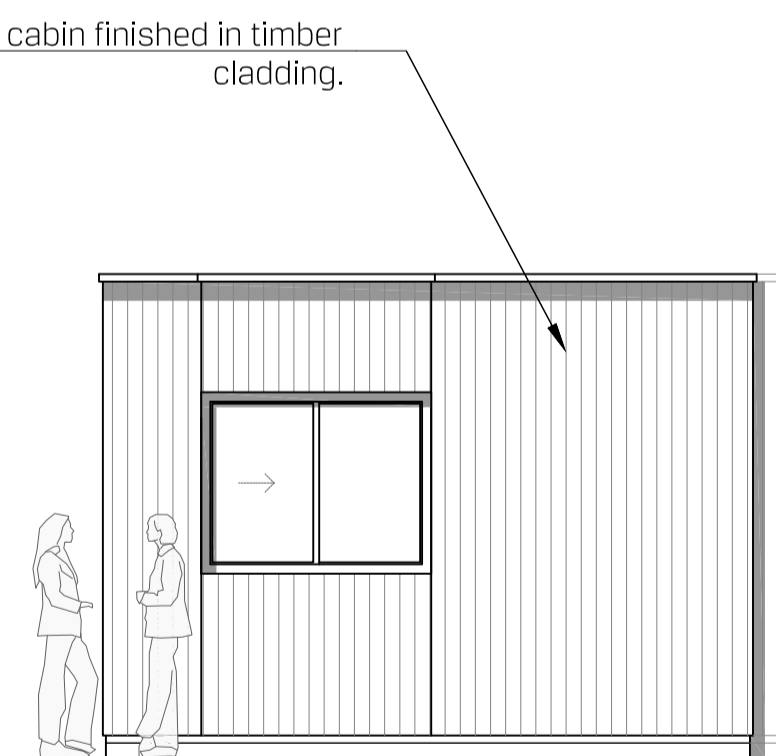
PROPOSED WEST ELEVATION | SCALE 1:100



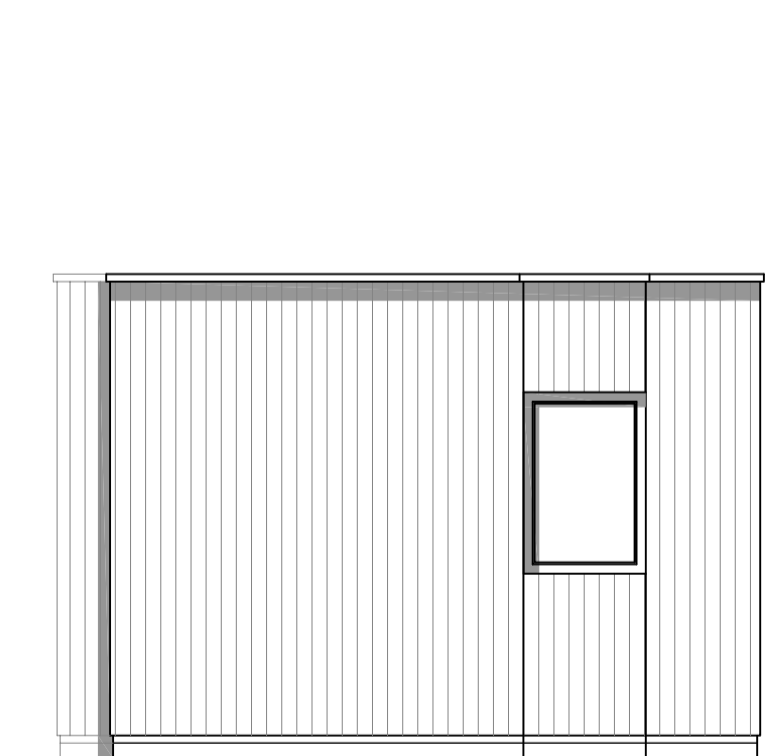
OT CABIN FRONT ELEVATION | SCALE 1:50



OT CABIN REAR ELEVATION | SCALE 1:50



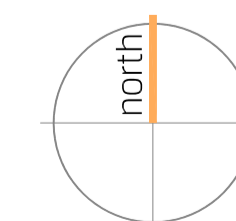
OT CABIN SIDE ELEVATION 01 | SCALE 1:50



OT CABIN SIDE ELEVATION 02 | SCALE 1:50

- GENERAL NOTES:
- All windows to be renewed to dark grey aluminum glazing.
  - Where making good all wall finishes to match existing finish.
  - all areas of hanging tile facade to be replaced with off white render finish.

PLANNING	F	FENCE HEIGHT REDUCED TO 2.4M HIGH	GL	GL	04.04.23
	E	REVISED TO SUIT PLANNING COMMENTS	GL	GL	17.02.23
	D	ISSUED FOR PLANNING	GL	GL	20.01.23
	C	ISSUED FOR COMMENT	GL	GL	17.01.23
	B	REVISED TO SUIT CLIENT COMMENTS	GL	GL	10.01.23
	A	ISSUED FOR COMMENT	GL	GL	15.12.22
	REVISION	DRAWN	CHECKED	DATE	
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Client CYGNET HEALTHCARE

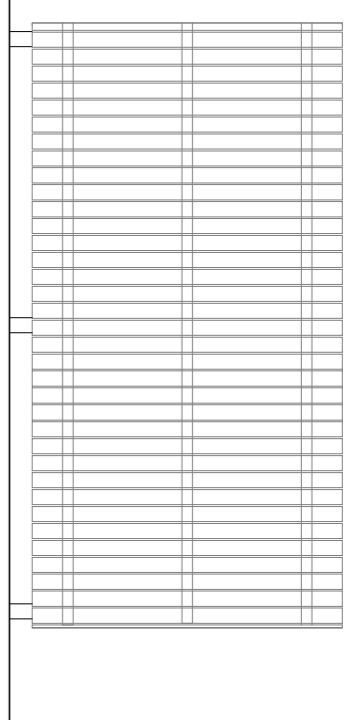
Project OLDBURY

Title PROPOSED ELEVATIONS SHEET 02

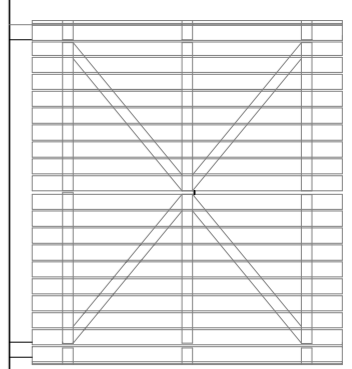
Dwg. No. 600026 - SHACK - VI - XX - DR - A - 2007 Rev F

Scale VARIES@A1 Project No. SHACK598

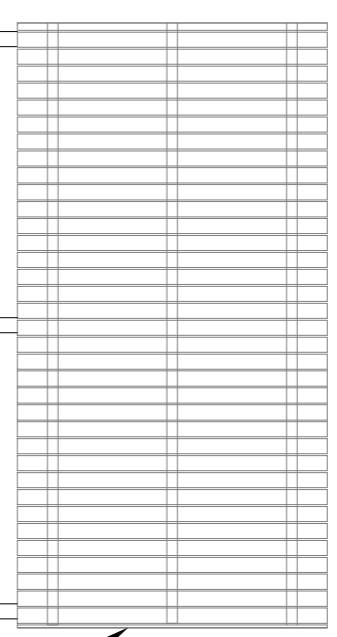
**PROPOSED BIN STORE DETAILS:**



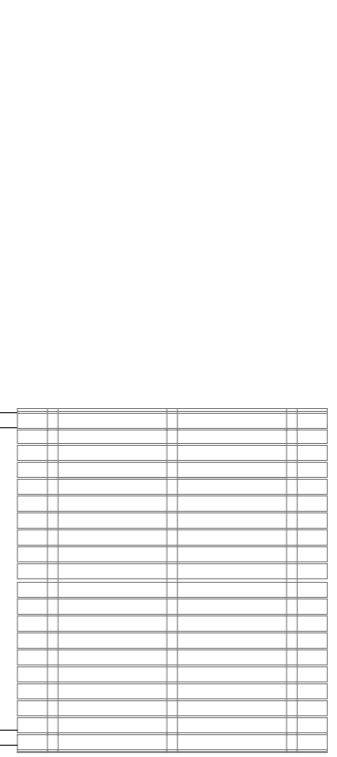
PROPOSED SIDE ELEVATION 01 | SCALE 1:50



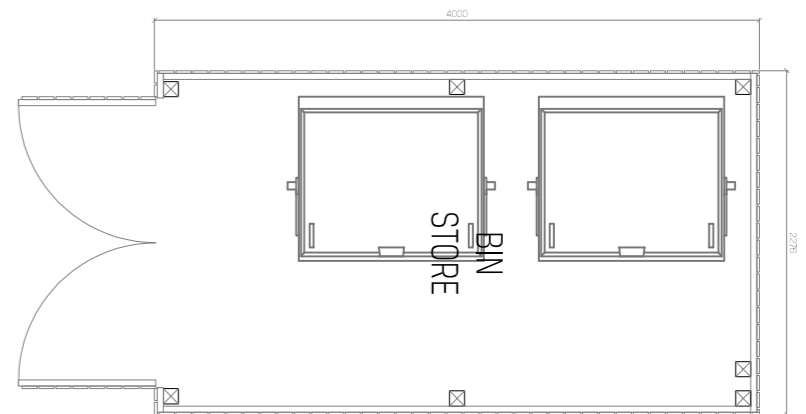
PROPOSED FRONT ELEVATION | SCALE 1:50



PROPOSED SIDE ELEVATION 02 | SCALE 1:50

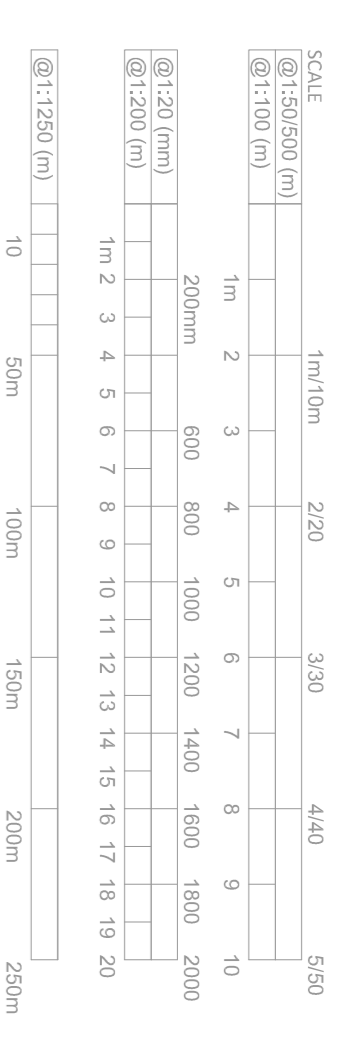


PROPOSED REAR ELEVATION | SCALE 1:50

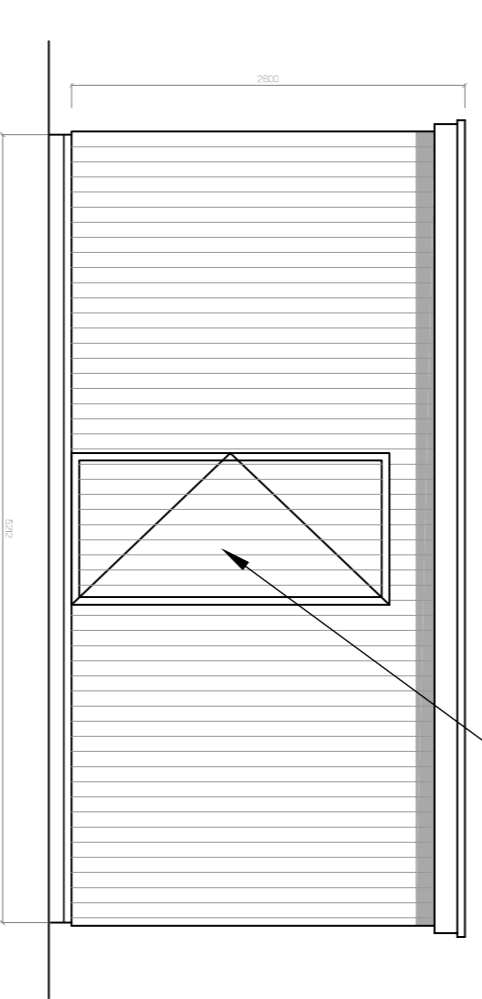


PROPOSED PLAN | SCALE 1:50

Timber Cladding bin store with concrete posts.



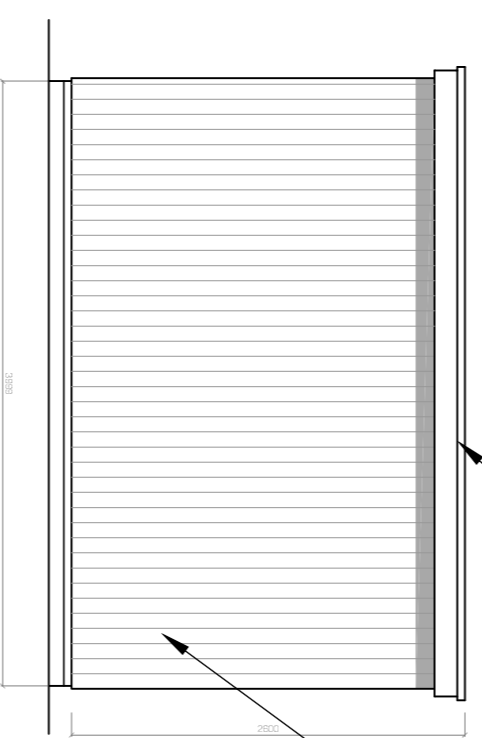
**PROPOSED MAINTENANCE STORE DETAILS:**



PROPOSED FRONT ELEVATION | SCALE 1:50



PROPOSED SIDE ELEVATION 01 | SCALE 1:50



PROPOSED SIDE ELEVATION 02 | SCALE 1:50

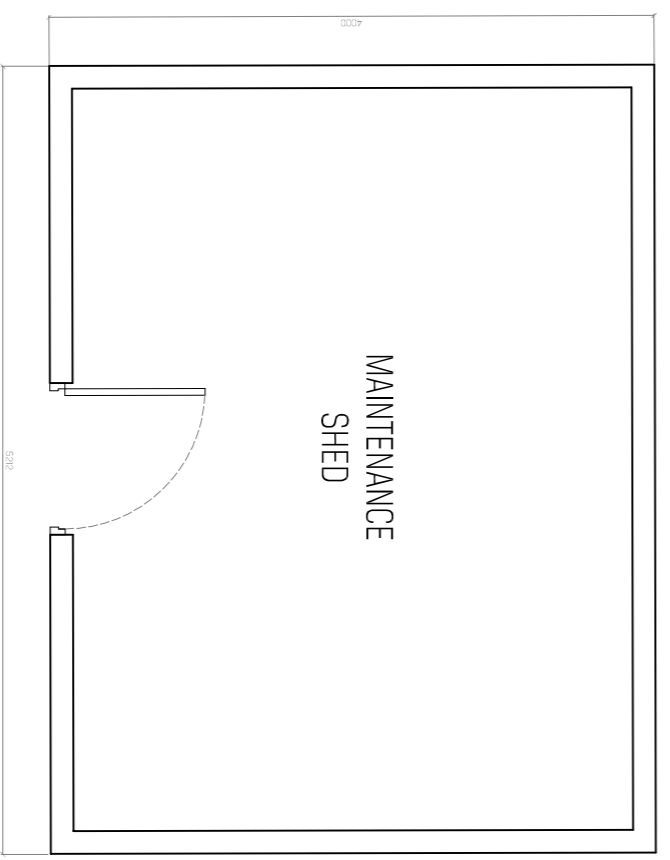


PROPOSED REAR ELEVATION | SCALE 1:50

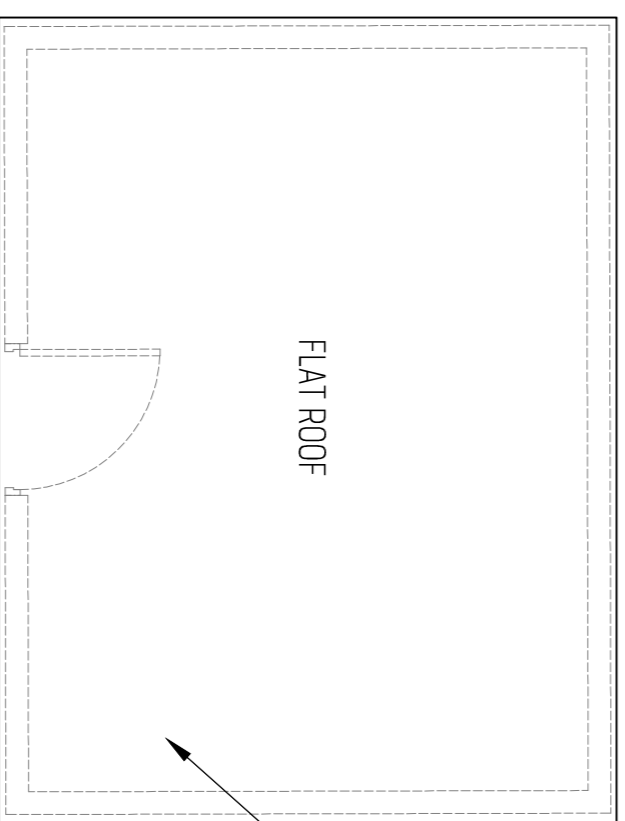
Door finish to match timber cladding.

Single ply membrane roof.

Timber cladding to maintenance store.

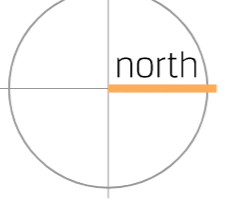


PROPOSED PLAN | SCALE 1:50



PROPOSED ROOF PLAN | SCALE 1:50

Single ply membrane roof.



STATUS		<b>PLANNING</b>	
A. ISSUED FOR PLANNING	REV.	DATE	DESCRIPTION
1	01	12/22/23	ISSUED FOR PLANNING
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## Report to Planning Committee

**10th May 2023**

<b>Application Reference</b>	DC/23/67982
<b>Application Received</b>	13 February 2023
<b>Application Description</b>	Amendment to the rear elevations of previously approved application DC/20/64342 and first floor juliet balcony.
<b>Application Address</b>	30 Horseley Heath, Tipton, DY4 7PA
<b>Applicant</b>	Mr Amarjit Mall
<b>Ward</b>	Great Bridge
<b>Contact Officer</b>	Mr Douglas Eardley <a href="mailto:douglas_eardley@sandwell.gov.uk">douglas_eardley@sandwell.gov.uk</a>

### 1 Recommendations

1.1 That conditional retrospective planning permission is granted subject to conditions relating to the following:


- i) Within one month from the date of this decision the juliet balcony shall be implemented; and once provided it shall be retained as such.

### 2 Reasons for Recommendations

2.1 The proposed development would be of satisfactory design and would not significantly impact the amenity of neighbouring properties.



### 3 How does this deliver objectives of the Corporate Plan?

	Quality homes in thriving neighbourhoods
---	--

### 4 Context

4.1 This application is being reported to Members because Councillor Peter Allen had requested that it be determined at Planning Committee due to concerns relating to possible loss of light to a neighbouring dwelling and the door is an out opening door giving access to the roof of the ground floor rear extension.

4.2 To assist members with site context, a link to Google Maps is provided below:

[30 Horseley Heath, Tipton](#)

### 5 Key Considerations

5.1 The site is unallocated with the development plan.

5.2 The material planning considerations which are relevant to this application are: -

Government policy (NPPF)

Loss of light

Loss of privacy from the rear door to the roof

### 6. The Application Site

6.1 The application site is situated on the north-western side of Horseley Heath, Tipton and relates to a semi-detached property, within a predominantly residential area.





## 7. Planning History

- 7.1 Planning permission was granted in October 2020 for a two-storey side extension, single storey rear extension and roof alterations to include rear dormer (ref: DC/20/64342).
- 7.2 Relevant planning applications are as follows:

DC/20/64342	Proposed two storey side extension, single storey rear extension and roof alterations to include rear dormer.	Grant Permission Subject to Conditions 09/10/20
DC/19/62966	Proposed bungalow (amendment to previously refused application DC/18/62543).	Refused Appeal Dismissed 04/11/2019
DC/18/62543	Proposed dormer bungalow.	Refuse permission 26/02/2019.
DC/16/59836	Proposed external alterations and change of use to beauty salon, with associated parking to rear with new vehicular access.	Refuse permission 15/12/2016.
DC/16/6396A	Proposed 2 No. non illuminated signs fascia signs, and 1 No. non illuminated totem sign.	Grant Advert Consent 25/10/2016
DC/05/44980	Proposed two bed dwelling.	Refused 30/09/2005



## 8. Application Details

8.1 The application is largely a retrospective application which is seeking the retention of amendments to the rear elevations of the previously approved application DC/20/64342. The amendments include the following:

- i) Smaller rear dormer
- ii) Different windows/doors arrangement on rear elevation
- iii) Side parapet walls for security reasons
- iv) Sky lantern
- v) Proposed first floor juliet balcony

The images below show the differences between the approved planning application and the submitted retrospective application.



Approved rear elevation

As built rear elevation, (apart from juliet balcony) which is yet to be implemented

## 9. Publicity

9.1 The application has been publicised by neighbour notification letters with two objections and an objection from Cllr Peter Allen being received.



## 9.2 Objections

Objections/concerns have been received on the following grounds:

- i) Loss of light.
- ii) Loss of privacy from juliet balcony.
- iii) Use of door, which opens outwards, giving access to the roof of ground floor rear extension.

## 9.3 Responses to objections

I respond to the objector's comments as follows:

- i) The extract above (section 8.1) it shows that side parapet walls have been added to the single storey rear extension. The Agent has confirmed that these side parapet walls have been added to the single storey rear extension by the Applicant for security purposes to deter others from climbing their property. Given that these side parapet walls are only 0.6 metres in height, it is considered that there would not be significant planning grounds to warrant refusal of DC/23/67982 due to loss of light to the neighbouring property in this instance.
- ii) It is noted that as illustrated by the extract above (section 8.1) there was a 3-pane window where the door is now in situ on site; the door is smaller than the 3-pane window originally granted permission. If this planning application were to be approved by Members, then a condition would be imposed to ensure that the juliet balcony (railing not currently in situ on site) would be implemented within 1 month from the date of the permission and once provided it shall be retained as such. Therefore, when these factors are coupled together, it is considered that there would not be significant planning grounds to warrant refusal on the grounds of loss of privacy.
- iii) As referenced in point ii) above, it is noted that a door is now in situ on site, rather than a 3-pane window as approved. The Agent has annotated on an amended plan that this door opens inwards. Also,



to alleviate the concerns of the objectors regarding the use of this door to access the roof of ground floor rear extension, a condition is recommended to ensure that the juliet balcony would be implemented within 1 month from the date of the permission and once provided it shall be retained as such. Therefore, it is considered that this would satisfactorily address this matter and would ensure that this door could not be used to access the roof of ground floor rear extension.

## 10. Consultee responses

None.

## 11. National Planning Policy

11.1 National Planning Policy Framework promotes sustainable development but states that local circumstances should be taken into account to reflect the character, needs and opportunities for each area.

11.2 The same guidance refers to development adding to the overall quality of the area by achieving high quality design, achieving good architecture and layouts. I am of the opinion that the scheme is of a good design, in accordance with paragraph 124 of the NPPF.

## 12. Local Planning Policy

12.1 The following policies of the council's Development Plan are relevant:

ENV3: Design Quality

SAD EOS9: Urban Design Principles

12.2 ENV3 and SAD EOS9 refers to well-designed schemes that provide quality living environments. The proposed layout and design are considered to be acceptable and typical of these types of domestic extensions.



## 13. Material Considerations

13.1 National and local planning policy considerations have been referred to above in Sections 11 and 12. With regards to the other material considerations, these are highlighted below:

### 13.2 Loss of light

As referred to above (9.3 (i)), given that these side parapet walls which have been added to single storey rear extension are only 0.6 metres in height, it is considered that they would not result in any appreciable loss of light to the neighbouring property in this instance.

### 13.3 Loss of privacy from juliet balcony

As referred to above (9.3 (ii) and (iii)), this door for this application is smaller than the 3-pane window approved under the original permission and the plans confirm that the door would open inwards. A condition is also recommended to ensure that the juliet balcony would be implemented within 1 month from the date of the permission and once provided it shall be retained as such. Therefore, when these factors are coupled together it is considered that it would not result in any appreciable loss of privacy from the juliet balcony to neighbouring properties in this instance.

## 14 Alternative Options

14.1 Refusal of the application is an option if there are material planning reasons for doing so. In my opinion the proposal is compliant with relevant polices and there are no material considerations that would justify refusal.



## 15 Implications

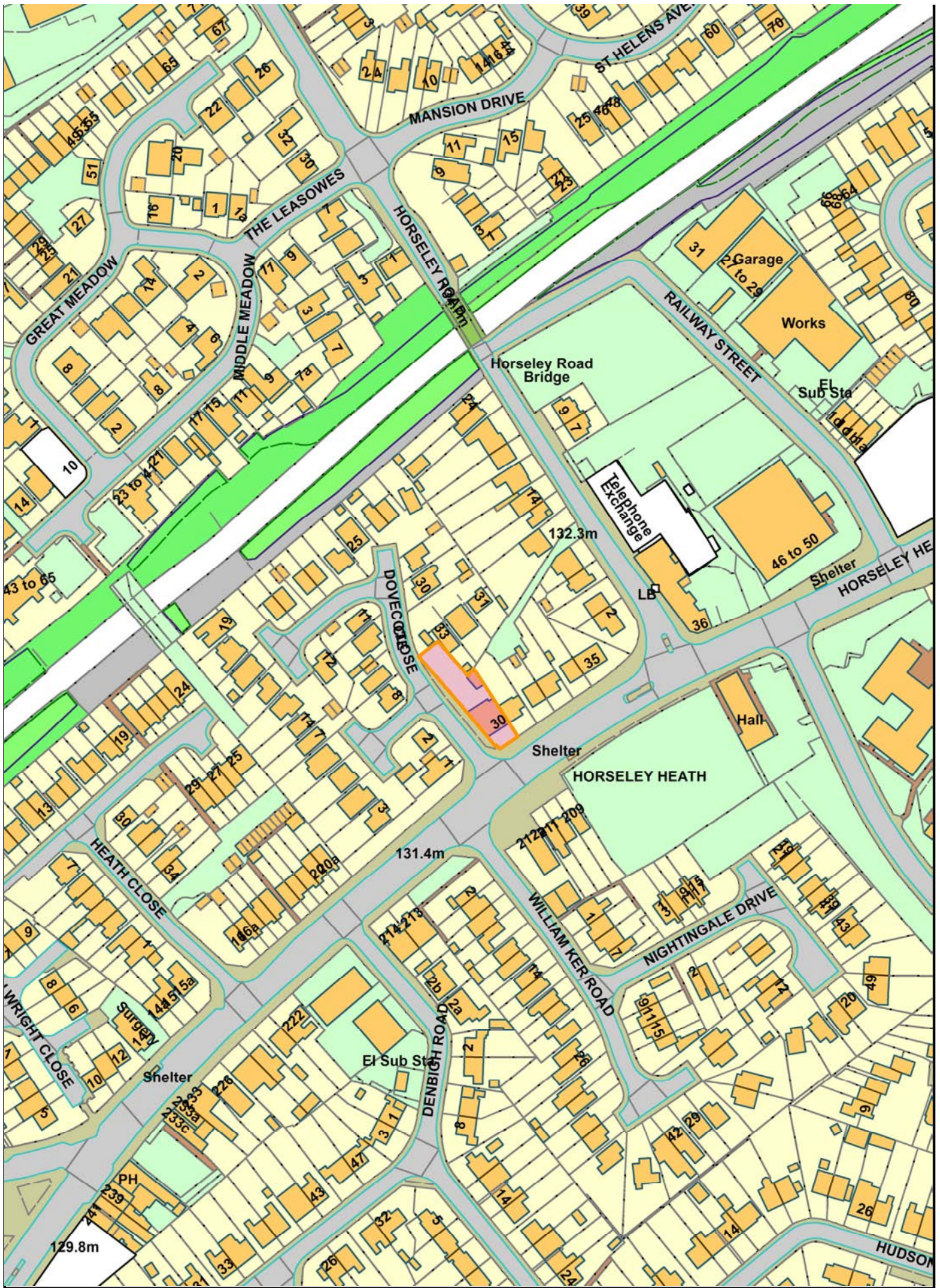
<b>Resources:</b>	When a planning application is refused the applicant has a right of appeal to the Planning Inspectorate, and they can make a claim for costs against the Council.
<b>Legal and Governance:</b>	This application is submitted under the Town and Country Planning Act 1990.
<b>Risk:</b>	None.
<b>Equality:</b>	There are no equality issues arising from this proposal and therefore an equality impact assessment has not been carried out.
<b>Health and Wellbeing:</b>	None.
<b>Social Value</b>	None.
<b>Climate Change</b>	Sandwell Council supports the transition to a low carbon future, in a way that takes full account of the need to adapt to and mitigate climate change. Proposals that help to shape places in ways that contribute to radical reductions in greenhouse gas emissions, minimise vulnerability and improve resilience; encourage the reuse of existing resources, including the conversion of existing buildings; and support renewable and low carbon energy and associated infrastructure, will be welcomed.

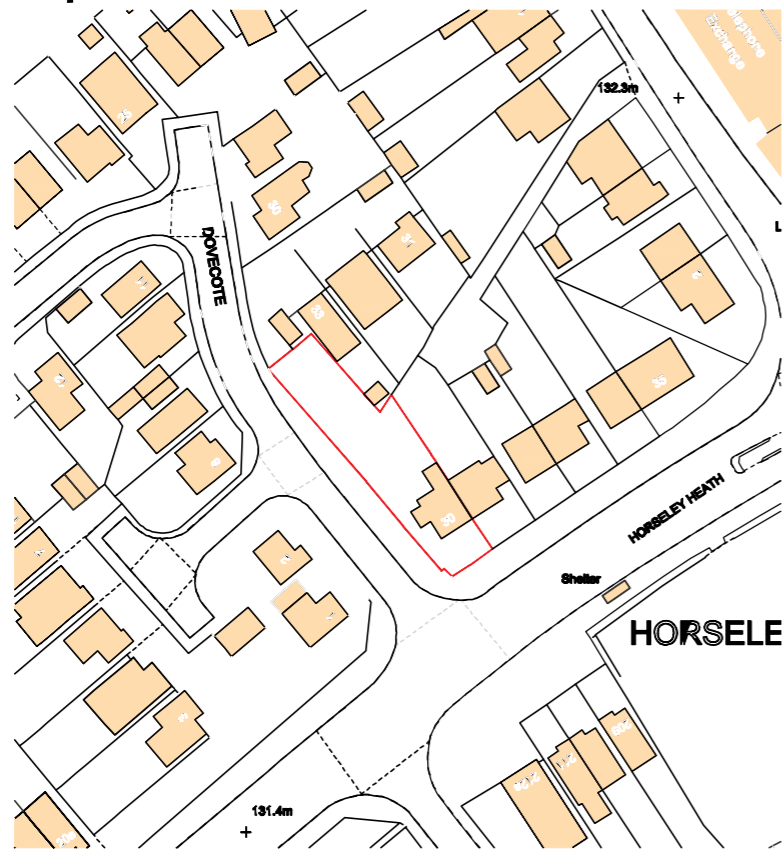
## 16. Appendices

Location plan & site plan – P000 REV B

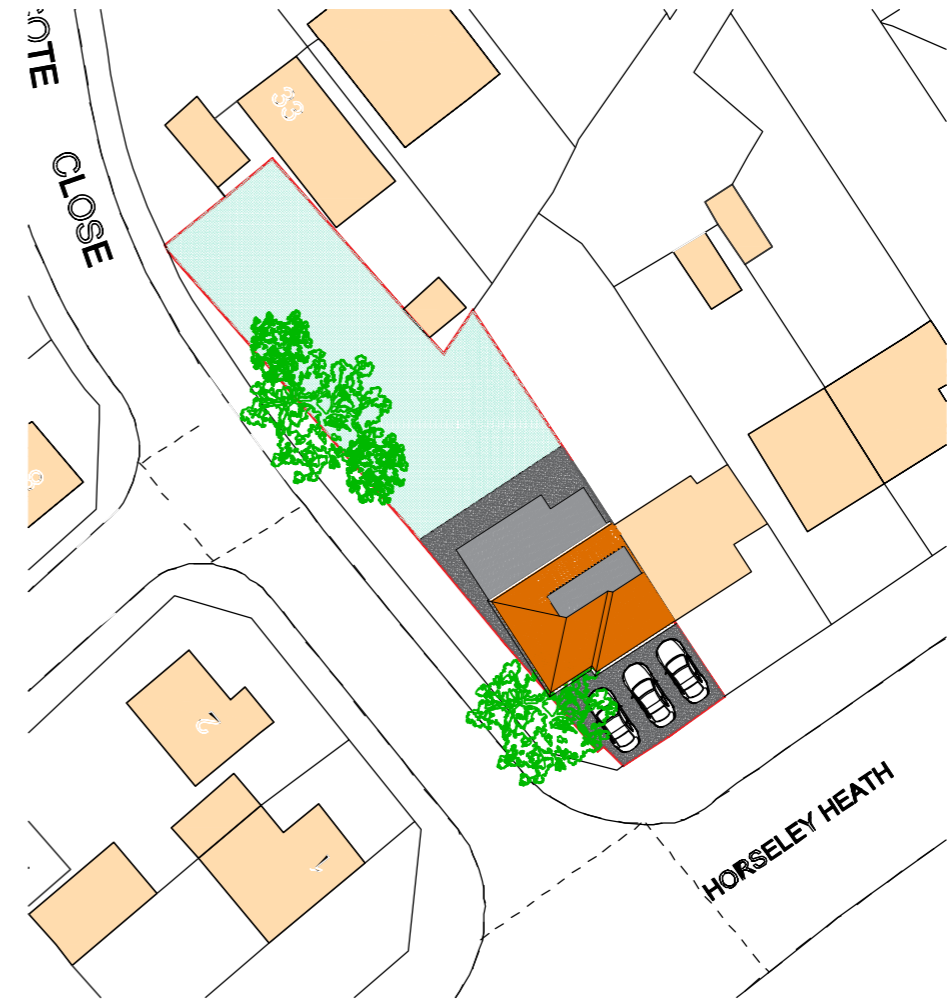
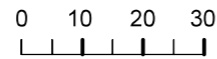
Amended approved & as built rear elevation/photo – P001 REV D



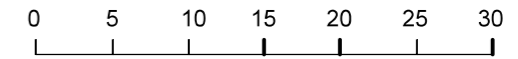




**LOCATION PLAN**  
SCALE 1:1250



**SITE PLAN**  
SCALE 1:500



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- ALL WORKMANSHIP SHOULD BE CARRIED OUT IN WORKMAN LIKE MANNER AND STRICTLY IN ACCORDANCE WITH CODE OF PRACTICE AND TO BRITISH STANDARDS.
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07588490689

ADDRESS:  
30 HORSELEY HEATH  
TIPTON  
WEST MIDLANDS DY4 7PA

PROJECT:

DRAWING:  
LOCATION AND SITE PLANS

Drawing No: P000

Rev: B  
Scale: AS SHOWN @ A3

Drawn By: IV  
Checked By: VI

Date: 25-04-2023





APPROVED REAR ELEVATION



AS BUILT REAR ELEVATION

Juliet Balcony to be implemented (Door opening inward)



IMAGE

Juliet Balcony to be implemented (Door opening inward)

**GENERAL NOTES:**

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- CLIENT TO CONFIRM IF THERE ARE ANY PUBLIC DRAINAGE PIPES WITHIN 3M OF THE PROPOSED EXTENSION AND THEN SECURE APPROVAL FROM WATER AUTHORITY TO BUILD OVER OR CLOSE TO ACCESS TO A MANHOLE TO BE ADVISED BY CLIENT FOR ALL NECESSARY CCTV SURVEYS TO SATISFY WATER AUTHORITY PRE AND POST BUILDING WORKS.
- ALL WORKMANSHIP SHOULD BE CARRIED OUT IN WORKMAN LIKE MANNER AND STRICTLY IN ACCORDANCE WITH CODE OF PRACTICE AND TO BRITISH STANDARDS.
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	<p>PROJECT:</p>	<p>DRAWING:</p> <p>ELEVATIONS</p>

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## Report to Planning Committee

**10 May 2023**

<b>Application Reference</b>	DC/23/67996
<b>Application Received</b>	17 February 2023
<b>Application Description</b>	Proposed single and two storey side and rear extension.
<b>Application Address</b>	48 Parsons Hill Oldbury B68 9BS
<b>Applicant</b>	Mr Arshed Saddique
<b>Ward</b>	Old Warley
<b>Contact Officer</b>	Dave Paine David_paine@sandwell.gov.uk

### 1 Recommendations

1.1 That planning permission is granted subject to conditions relating to:


- (i) External materials to match the existing property.

### 2 Reasons for Recommendations

2.1 The proposal is of a satisfactory design and it is anticipated that the proposal would not cause any significant loss of light, outlook, or privacy issues to the occupiers of the adjacent properties.



### 3 How does this deliver objectives of the Corporate Plan?

	Quality homes in thriving neighbourhoods
---	--

#### 4 Context

- 4.1 The application is being reported to your planning committee because the Agent is an employee of Sandwell MBC.
- 4.2 To assist members with site context, a link to Google Maps is provided below:

[48 Parsons Hill, Oldbury](#)

#### 5 Key Considerations

- 5.1 The material planning considerations which are relevant to this application are: -

Loss of light and outlook  
Design, appearance and materials

#### 6. The Application Site

- 6.1 The application site is on the west side of Parsons Hill. It is a semi-detached property. This is a residential area characterised by semi-detached dwellings of a variety of different design styles.

#### 7. Planning History

- 7.1 There is no planning history associated with the site.



## 8. Application Details

8.1 The applicant proposes to construct a two-storey, side-and-rear wraparound extension. On the ground floor, it would measure; 2.8m wide by 12.9m deep by 3.4m high (to the top of the roof lantern). The first floor would measure; 2.9m wide by 9.3m deep by 6.8m high.

## 9. Publicity

9.1 The application has been publicised by neighbour notification letters with one objection received.

### 9.2 Objections

Objections have been received on the following grounds:

- (i) The proposed extension would encroach onto the neighbouring property.

A non-material objection was made regarding a potential impact on a gas main.

### 9.3 Responses to objections

I respond to the objector's comments in turn:

- (i) Whilst issues of encroachment are not strictly a planning matter. The concerns were put to the agent who agreed that the initial plans had been drawn incorrectly. Amended plans addressing this were submitted on 14 March 2023. No further comments have since been received.

## 10. Consultee responses

10.1 None.



## 11. National Planning Policy

- 11.1 National Planning Policy Framework promotes sustainable development but states that local circumstances should be taken into account to reflect the character, needs and opportunities for each area.
- 11.2 The same guidance refers to development adding to the overall quality of the area by achieving high quality design, achieving good architecture and layouts. I am of the opinion that the scheme is of a good design, in accordance with paragraph 124 of the NPPF.

## 12. Local Planning Policy

- 12.1 The following policies of the council's Development Plan are relevant:

ENV3: Design Quality

SAD EOS9: Urban Design Principles

- 12.2 ENV3 and SAD EOS9 refers to well-designed schemes that provide quality living environments. The proposed layout and design are considered to be acceptable.

## 13. Material Considerations

- 13.1 National and local planning policy considerations have been referred to above in Sections 11 and 12. With regards to the other material considerations, these are highlighted below:

### 13.2 Loss of light and outlook

The proposal would cause no significant loss of light or outlook to neighbours. Both neighbour on either site have existing single storey rear extensions which would negate the impact of the proposed ground floor portion of the development. The first-floor extension would be of a reduced size and would not cross any 45-degree line from any rear facing window on neighbouring properties.



### 13.3 Design, appearance and materials

The first-floor side extension would be set back at the front by 0.5m. This would accord with the requirements of the Sandwell Revised Residential Design Guide. It would ensure the subservience of the extension and retain the appearance of the original house and the symmetry between the 2 adjoining dwellings. The scale and massing of the extension would be acceptable and the design features, including the roof design and fenestration would reflect the design of the original house, thereby complying with design policies BCCS ENV3 and SAD EOS9.

## 14 Alternative Options

14.1 Refusal of the application is an option if there are material planning reasons for doing so. In my opinion the proposal is compliant with relevant polices and there are no material considerations that would justify refusal.

## 15 Implications

<b>Resources:</b>	When a planning application is refused the applicant has a right of appeal to the Planning Inspectorate, and they can make a claim for costs against the Council.
<b>Legal and Governance:</b>	This application is submitted under the Town and Country Planning Act 1990.
<b>Risk:</b>	None.
<b>Equality:</b>	There are no equality issues arising from this proposal and therefore an equality impact assessment has not been carried out.
<b>Health and Wellbeing:</b>	None.
<b>Social Value</b>	None.
<b>Climate Change</b>	Sandwell Council supports the transition to a low carbon future, in a way that takes full account of the



need to adapt to and mitigate climate change. Proposals that help to shape places in ways that contribute to radical reductions in greenhouse gas emissions, minimise vulnerability and improve resilience; encourage the reuse of existing resources, including the conversion of existing buildings; and support renewable and low carbon energy and associated infrastructure, will be welcomed.

## 16. Appendices

Context plan

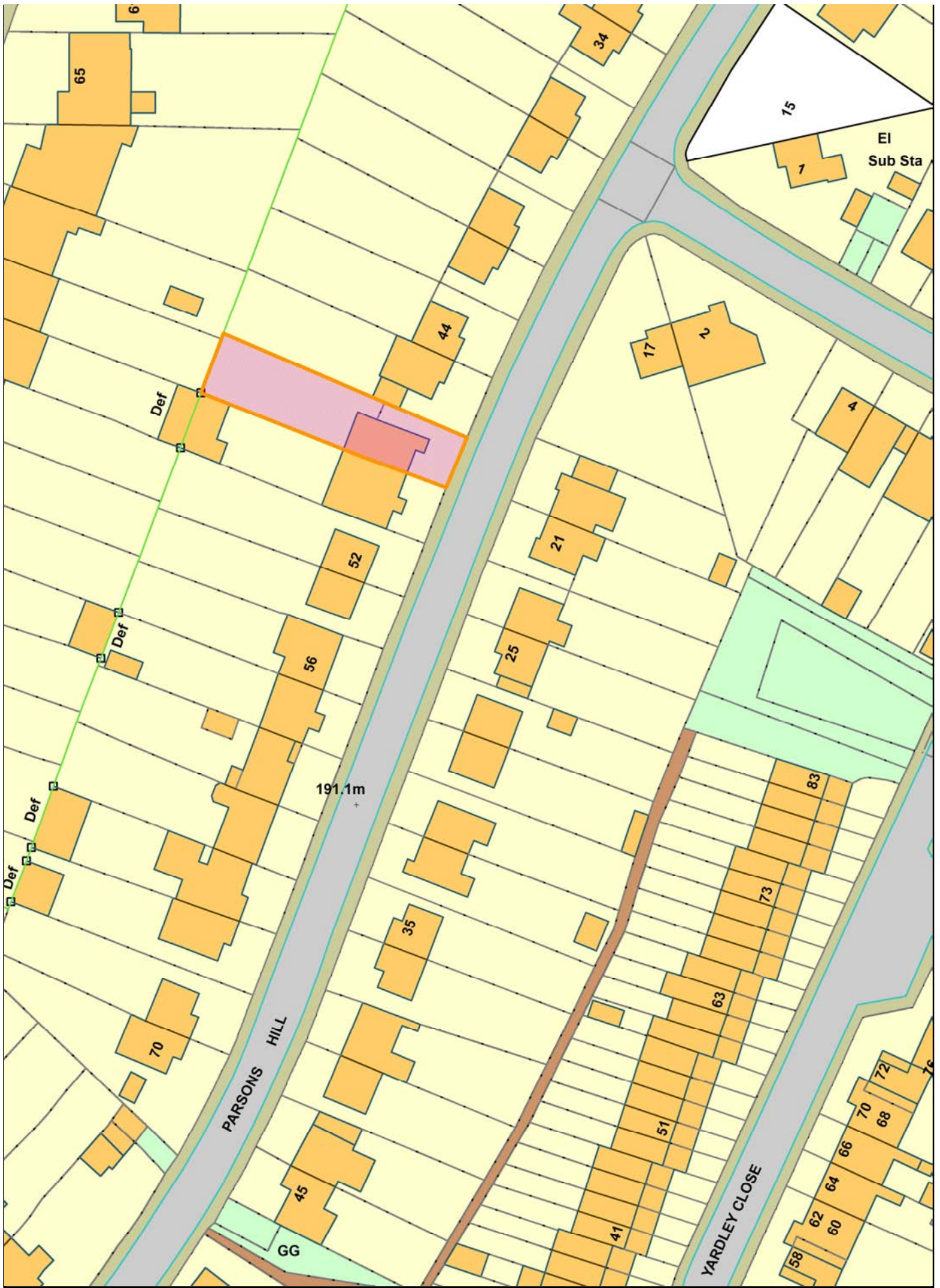
Existing floor plans and elevations, site plan and location plan – 2023-01. Rev 02

Proposed floor plans – 2023-02. Rev 02

Proposed elevation – 2023-03. Rev 03







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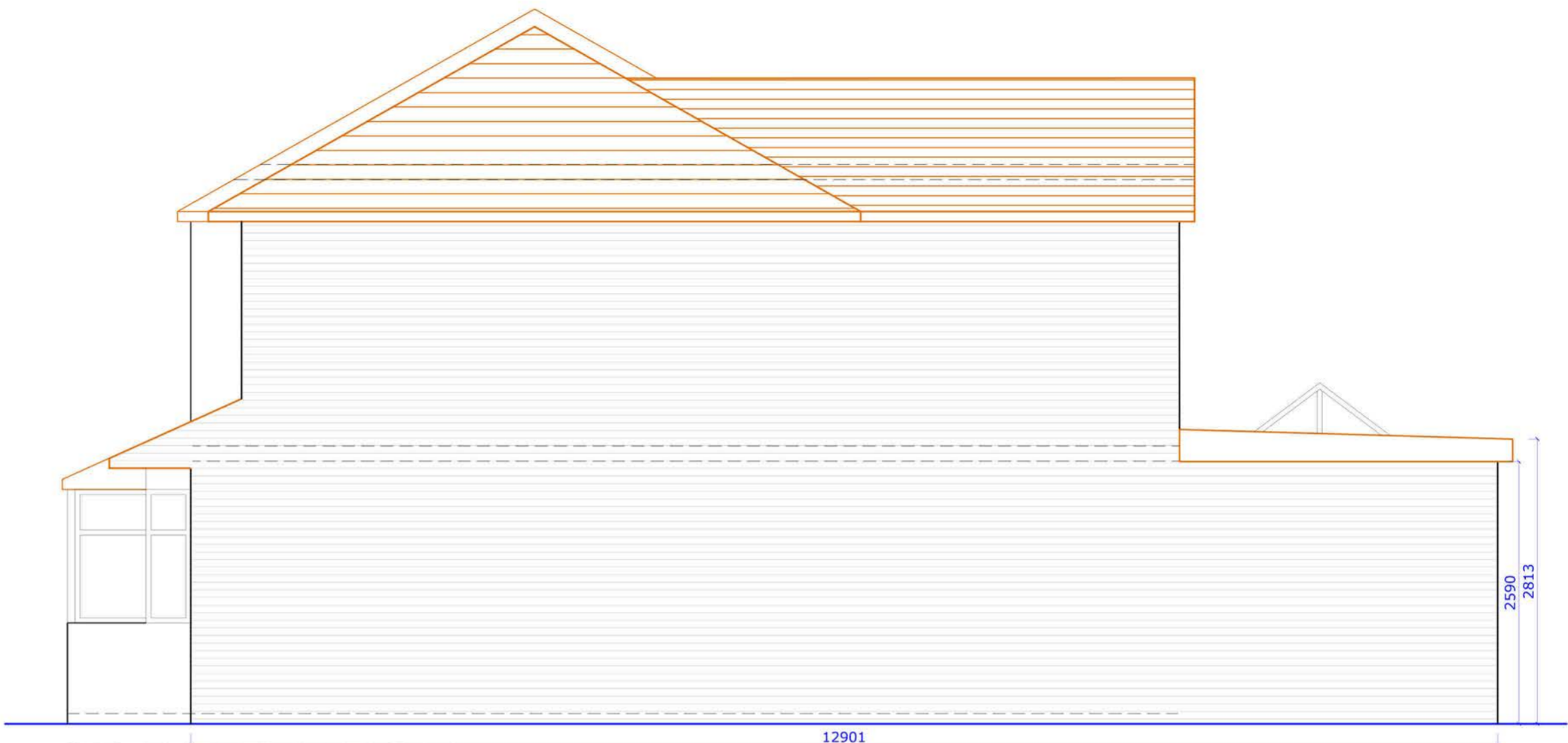




Proposed Elevations  
Scale 1:50



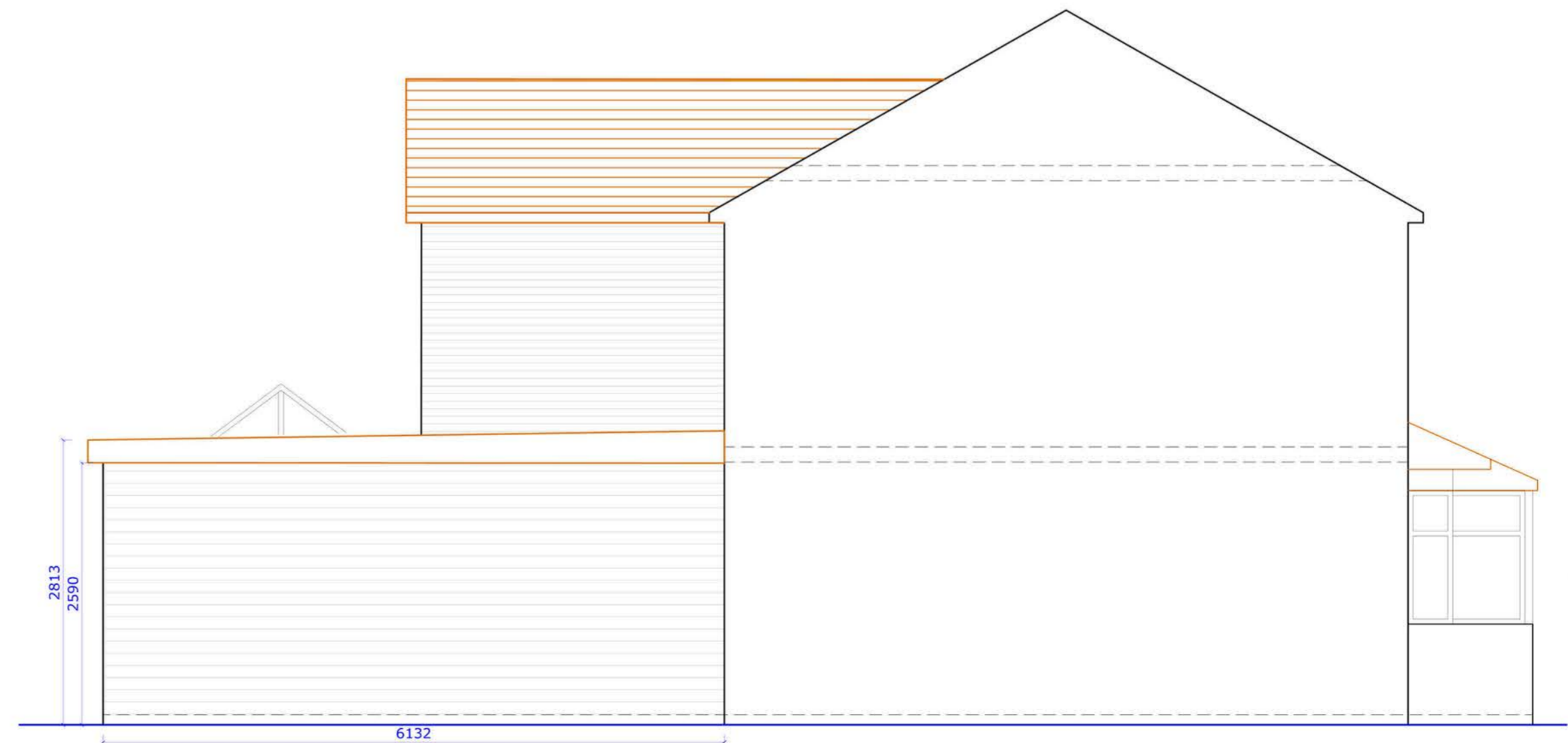
FRONT ELEVATION



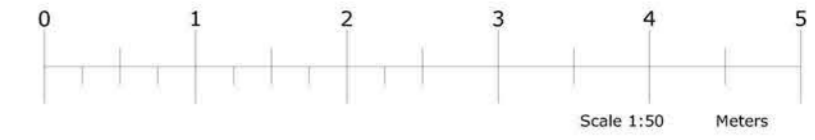
SIDE ELEVATION



REAR ELEVATION



SIDE ELEVATION



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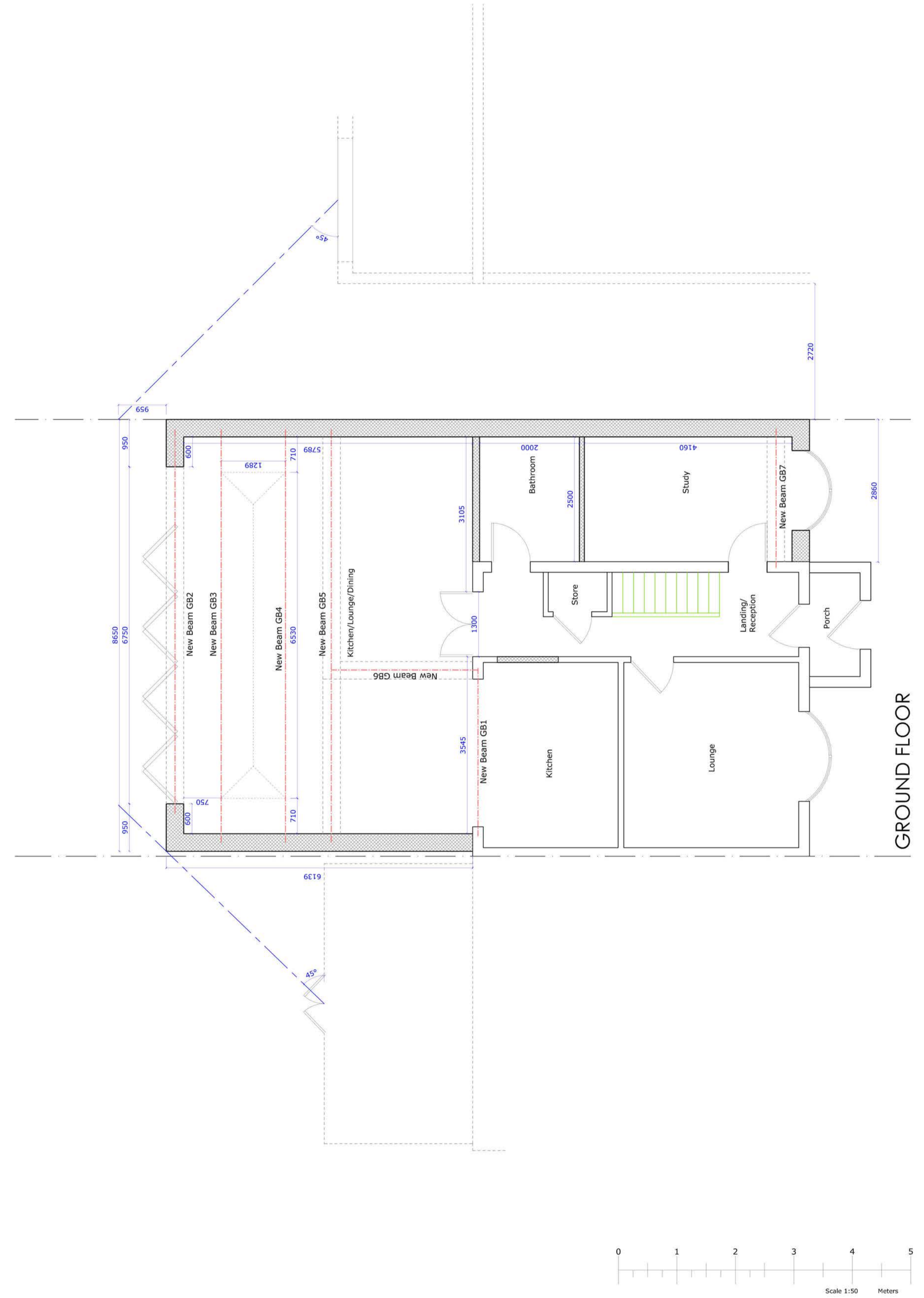
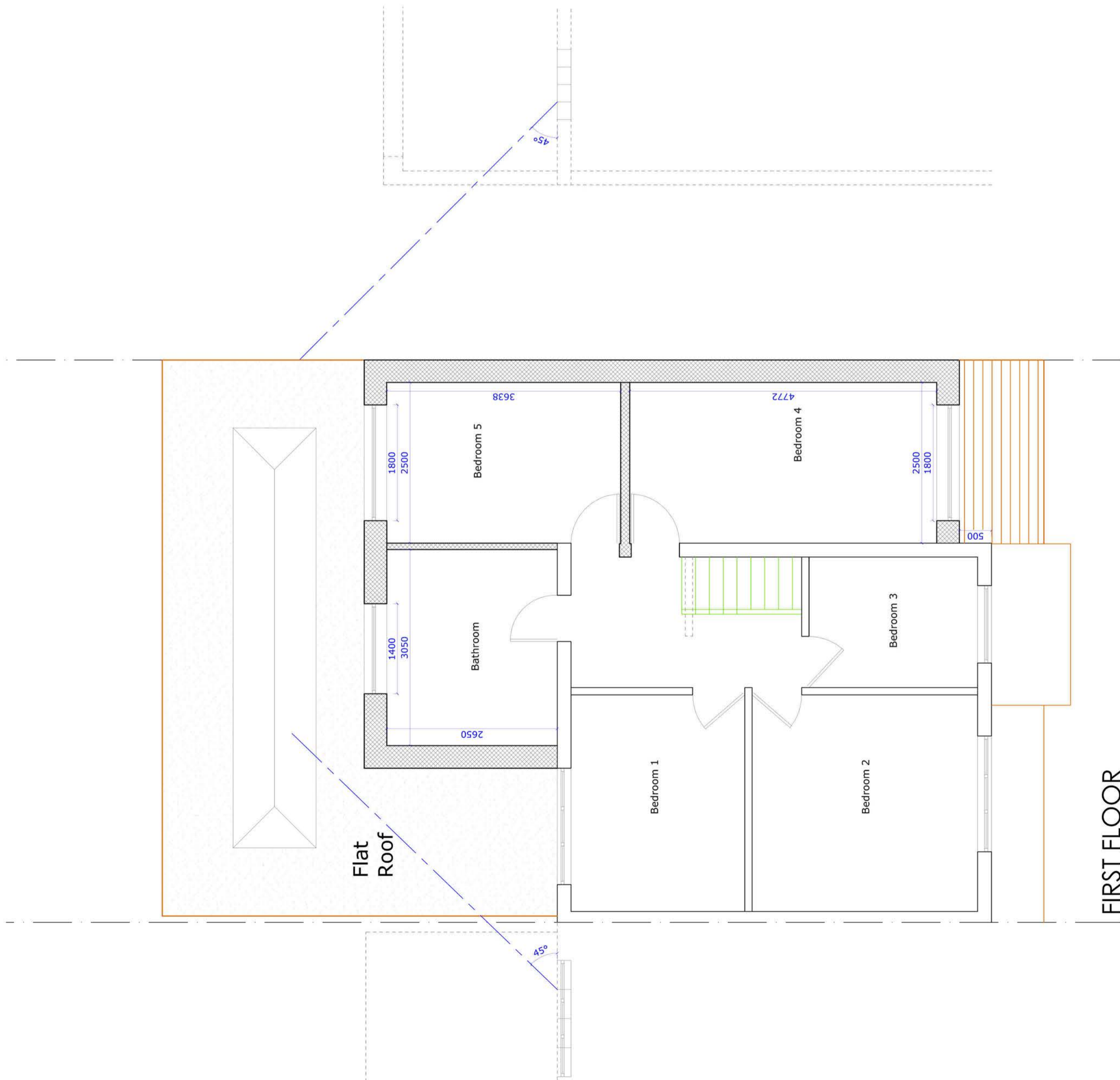
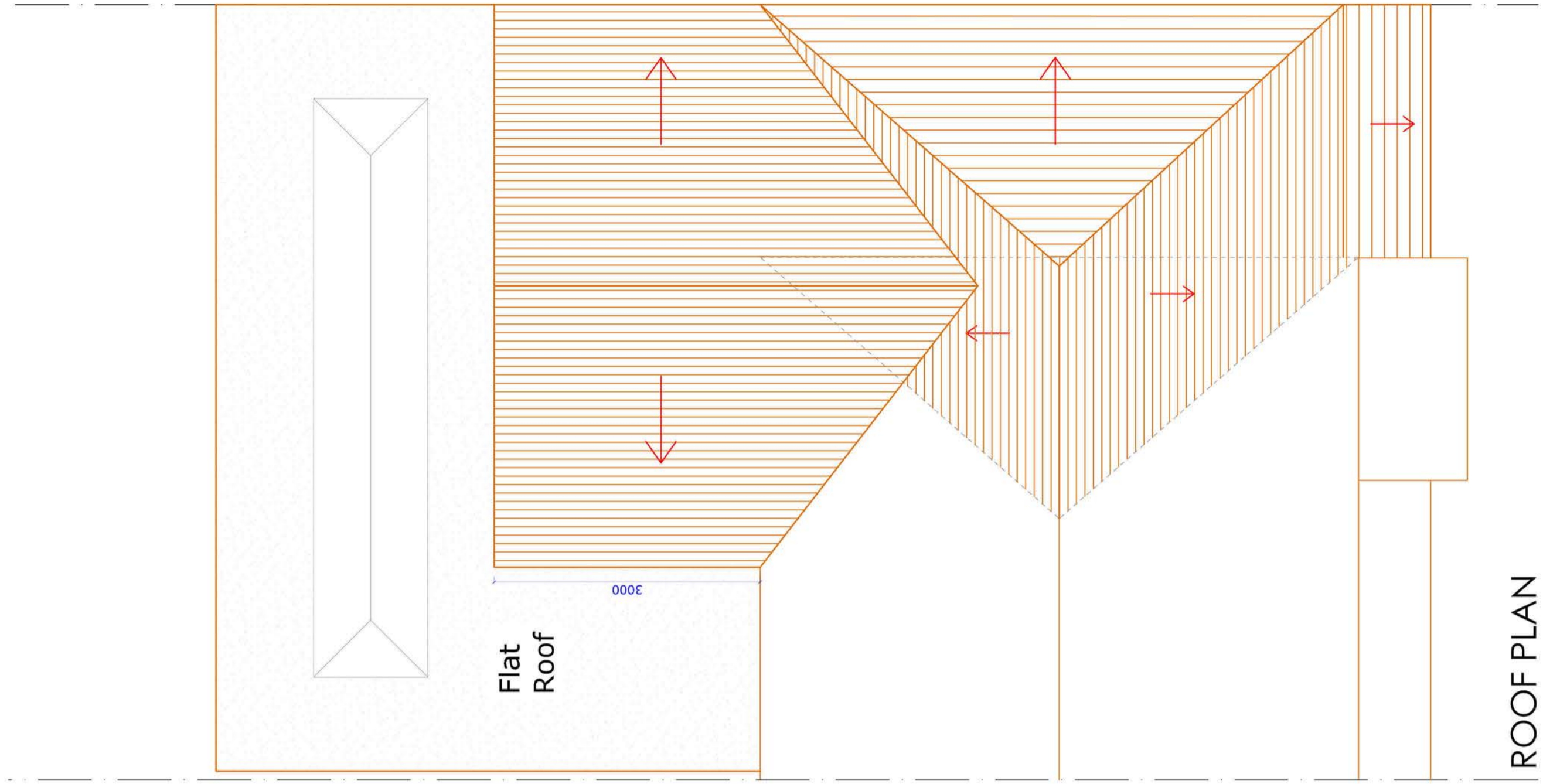
**REVISIONS**

CLIENT: [REDACTED]

JOB:  
48 Parsons Hill, Oldbury,  
B68 9BS

DRG TITLE:  
Proposed Elevations

DRG NO.	REV.	Paper
2023-03/	02	A2
DATE: Mar' 2023	SCALE: 1:50	



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**REVISIONS**

**CLIENT:** [REDACTED]

**JOB:** 48 Parsons Hill, Oldbury, B68 9BS

**DRG TITLE:** Proposed Plans

DRG NO.	REV.	Paper
2023-02/	02	A1

DATE: Mar 2023 SCALE: 1:50

## Report to Planning Committee

**10 May 2023**

<b>Application Reference</b>	DC/23/68006
<b>Application Received</b>	17 <sup>th</sup> February 2023
<b>Application Description</b>	Proposed single storey front and rear extensions, first floor extension, external alterations, change of use of land to the rear to recreational use (Class F2(c)) and associated parking.
<b>Application Address</b>	The GAP Centre Hargate Lane West Bromwich B71 1PH
<b>Applicant</b>	The Gap Centre
<b>Ward</b>	Hateley Heath
<b>Contact Officer</b>	William Stevens <a href="mailto:William_stevens@sandwell.gov.uk">William_stevens@sandwell.gov.uk</a>

### 1 Recommendations

1.1 Subject to no adverse comments from the Head of Highways, that planning permission is granted subject to conditions relating to:

- i) The approval of external materials,
- ii) Construction management plan,
- iii) Extraction equipment for the planned kitchen,
- iv) Boundary Treatment,




- v) Site management plan including hours of use of the recreation space, and
- vi) Off-street parking spaces to be provided and retained.

## 2 Reasons for Recommendations

- 2.1 In 2020 planning permission was approved for a similar proposal. Since then, there has been no significant policy change that would warrant a refusal.

## 3 How does this deliver objectives of the Corporate Plan?

	<p>Strong resilient communities</p>
---	-------------------------------------

## 4 Context

- 4.1 The application is before your committee as the applicant is related to a local Councillor.
- 4.2 To assist members with site context, links to Google Maps are provided below:

[The GAP Centre, Hargate Lane, West Bromwich](#)

[Rear of site \(Recreation Space\)](#)

## 5 Key Considerations

- 5.1 The site relates to a Christian centre within a predominately residential area. Land to the rear of the site has been purchased to use as recreational use for the community and has therefore enlarged the footprint of the site to those properties on Montgomery Walk (see point 6.3 below).



5.2 The material planning considerations which are relevant to this application are: -

Government policy (NPPF)  
Planning History,  
Access, highway safety, parking and servicing

## 6. The Application Site

6.1 The application site relates to a Christian centre on the eastern side of Hargate Lane, West Bromwich. The application site is within a residential area.

6.2 The property has a small forecourt and a large rear garden, used as a children's' playground in association with the before and after school clubs that are run from the premises. The single-storey building is also used for local coffee mornings and community meetings. It is also used as a place of worship on Sundays. There is no parking provision at the site and this has been the case for many years.

6.3 To the rear of the site is open grass land which the applicant has purchased and is to be incorporated into the site, extending the footprint of the site of approval DC/19/63709 (see point 7.3 below).

## 7. Planning History

7.1 Planning permission was granted in 2020 for a two-storey side/rear extensions, single storey front/rear extensions and first floor conversion which has not been implemented. A revised application is now before your Committee with the additional recreational space to the rear.

7.3 Relevant planning applications are as follows:

DC/19/63709	Proposed two storey side/rear extensions, single storey front/rear	Grant Permission subject to Conditions
-------------	--	--



	extensions and first floor conversion.	13/02/2020
DC/23/68061	Temporary permission for two years for a proposed access ramp and new entrance to side.	Pending consideration (on this Committee Agenda)

## 8. Application Details

- 8.1 The applicant proposes to erect single storey front and rear extensions, first floor extension, external alterations, change of use to recreational use Class F2(c) and associated parking. The size of the footprint of the building would remain unchanged (apart from the squaring off of the front extension, and a small toilet block to the rear). The applicant proposes a first floor extension which would then double the useable space on the existing building, increasing the maximum height from 6.1m to 7.5m.
- 8.2 Members are reminded that Class F2(c) relates to an area or place for outdoor sport or recreation (not involving motorised vehicles or firearms).
- 8.3 Three off-street parking spaces are proposed and will be to the side of the existing building, similar to the previous approval.

## 9. Publicity

- 9.1 The application has been publicised by neighbour notification letters with one objection received.

### 9.2 Objections

An objection has been received on the following grounds:





- i) The proposed development would generate significant traffic issues, and
- ii) Additional noise nuisance;

### 9.3 Responses to objections

I respond to the objector's comments in turn:

- i) Highways (see point 10.1 below) has raised concerns over the lack of off-street parking. However, approval was granted for a similar scheme on the same site back in 2020 and the design standards have not changed.

Given the previous approval, this sets a precedent for the use on the site, however the inclusion of the recreation area at the rear could generate more visitors to the site, and as a result, the Head of Highways has requested additional information.

- ii) The proposed use remains the same, and Public Health have raised no objections, however it is acknowledged that the proposal would double the useable space therefore more information has been requested regarding the management of the centre.

## 10. Consultee responses

### 10.1 Highways

Highways have raised concerns over the development due to the lack of off-street parking. Whilst three spaces have been shown, this land is tight, and users would have difficulty opening the car doors. The site is on a narrow road with limited on-street parking available and there are examples of residents parking wholly on the public footpath.

Additional information has been requested from the agent and additional comments/recommendations will be verbally updated.



## 10.2 Public Health (Contaminated Land)

No objections received.

## 10.3 Public Health (Air Pollution and Noise)

No objections subject to a construction management plan which includes construction vehicle parking, security hoarding, wheel washing facilities, hours of construction, etc.

Details of the proposed kitchens extraction equipment is also recommended.

## 11. National Planning Policy

11.1 National Planning Policy Framework promotes sustainable development but states that local circumstances should be taken into account to reflect the character, needs and opportunities for each area.

11.2 The same guidance promotes sustainable transport options for development proposal and paragraph 111 states that developments should be prevented or refused on highway grounds if there would be an unacceptable impact on highway safety, or the residual cumulative impacts on the road network would be severe.

## 12. Local Planning Policy

12.1 The following policies of the council's Development Plan are relevant:

ENV3: Design Quality

SAD EOS9: Urban Design Principles

12.2 ENV3 and SAD EOS9 refers to well-designed schemes that provide quality living environments. The proposed design is considered to be acceptable.



### 13. Material Considerations

13.1 National and local planning policy considerations have been referred to above in Sections 11 and 12. With regards to the other material considerations, these are highlighted below:

#### 13.2 Planning history

Approval was granted in 2020 for a similar sized use (albeit without the additional land to the rear of the site).

#### 13.4 Access, highway safety, parking, servicing and traffic generation

Whilst the scheme is for the local community, some end users will no doubt arrive by their private motor vehicles. Limited off-street and on-street parking is available on and immediately around the premises, however on-street parking is available on adjacent roads which are a lot wider, and the site is easily accessed by public transport routes.

### 14 Alternative Options

14.1 Refusal of the application is an option if there are material planning reasons for doing so. In my opinion the proposal is compliant with relevant policies and there are no material considerations that would justify refusal.

### 15 Implications

<b>Resources:</b>	When a planning application is refused the applicant has a right of appeal to the Planning Inspectorate, and they can make a claim for costs against the Council.
<b>Legal and Governance:</b>	This application is submitted under the Town and Country Planning Act 1990.
<b>Risk:</b>	None.



<b>Equality:</b>	There are no equality issues arising from this proposal and therefore an equality impact assessment has not been carried out.
<b>Health and Wellbeing:</b>	None.
<b>Social Value</b>	None.
<b>Climate Change</b>	Sandwell Council supports the transition to a low carbon future, in a way that takes full account of the need to adapt to and mitigate climate change. Proposals that help to shape places in ways that contribute to radical reductions in greenhouse gas emissions, minimise vulnerability and improve resilience; encourage the reuse of existing resources, including the conversion of existing buildings; and support renewable and low carbon energy and associated infrastructure, will be welcomed.

## 16. Appendices

Location Plan

Context plan

Site Plan

Proposed floor plan

Proposed elevations

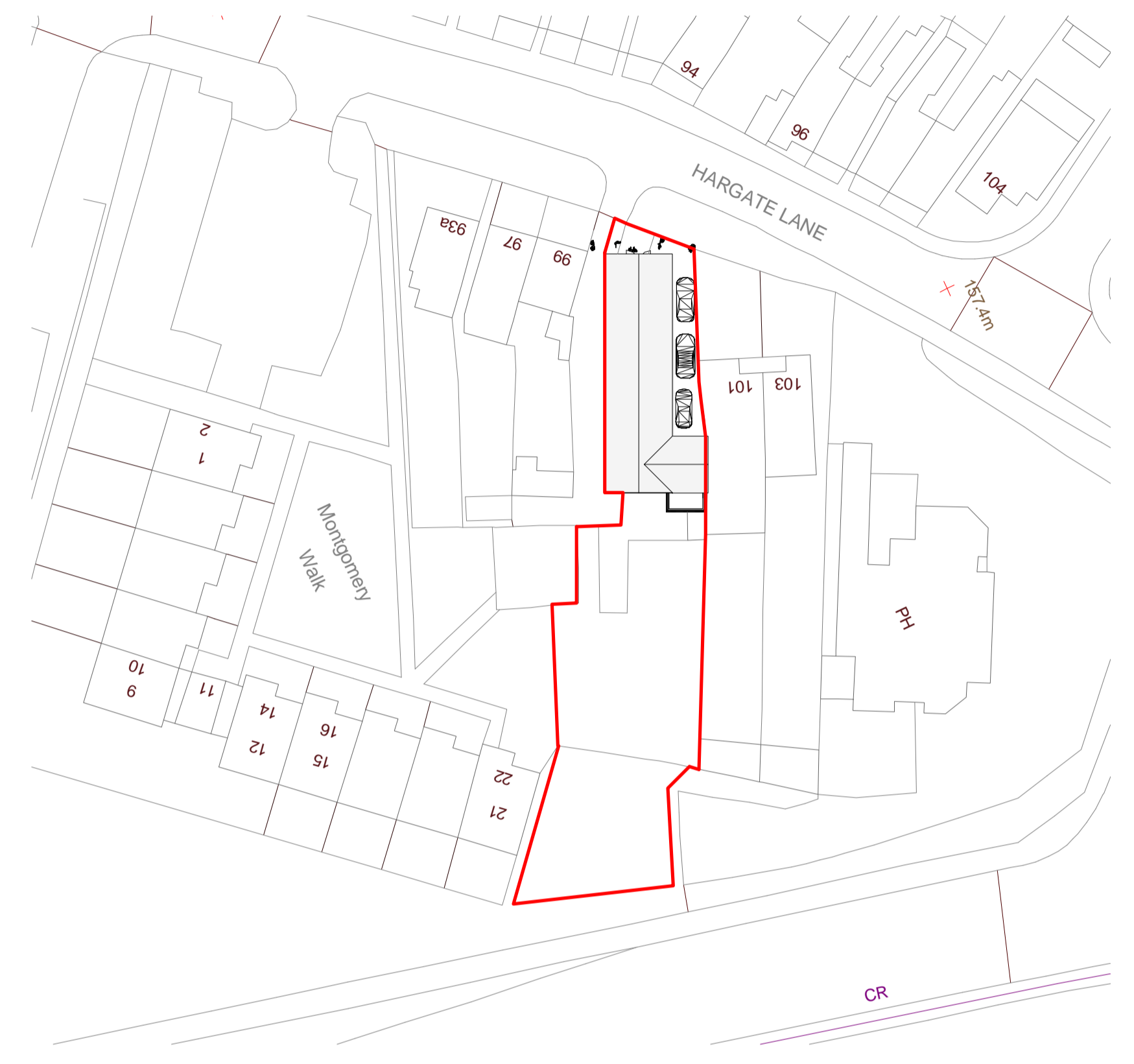


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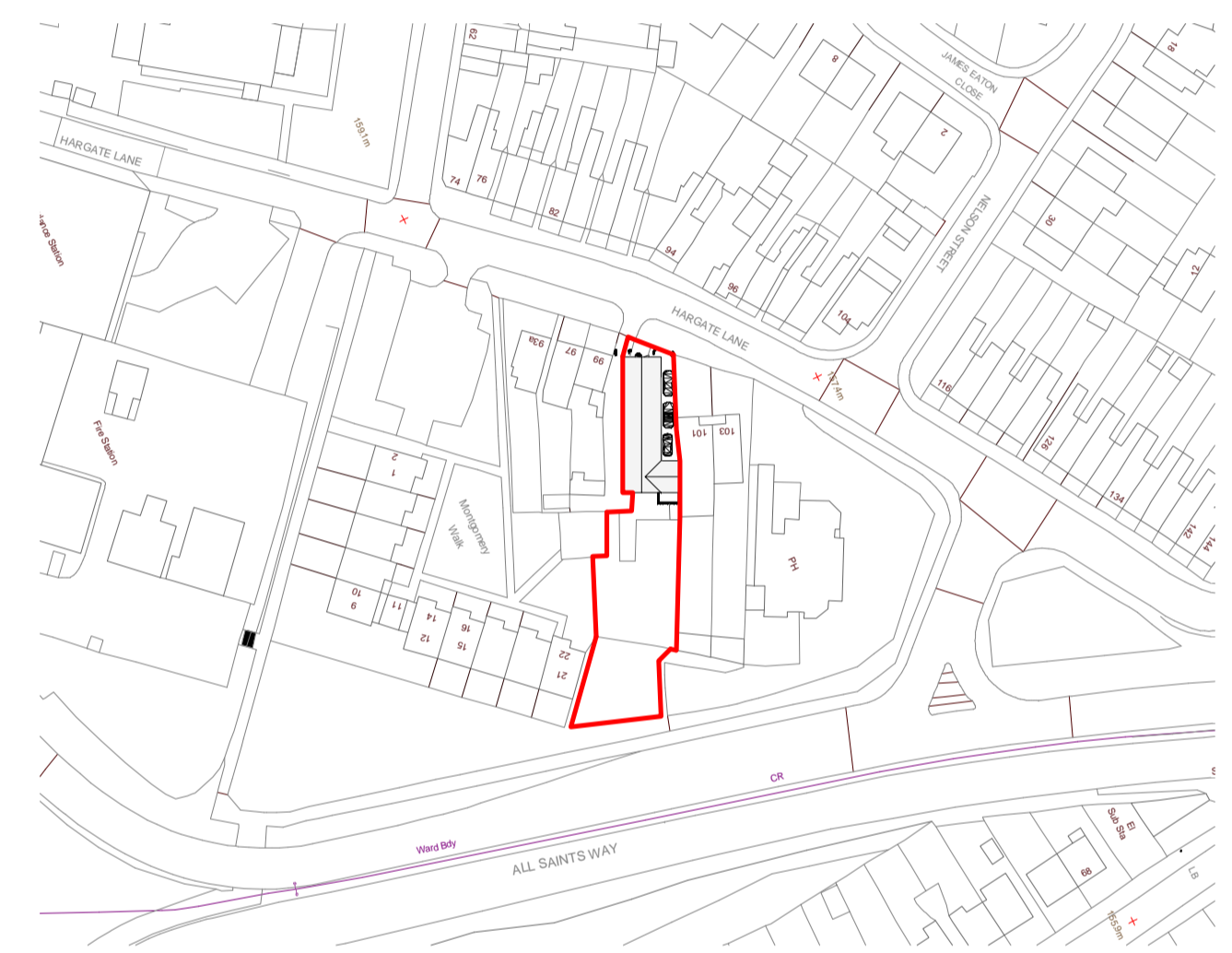
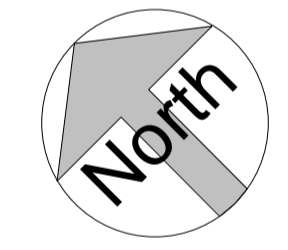
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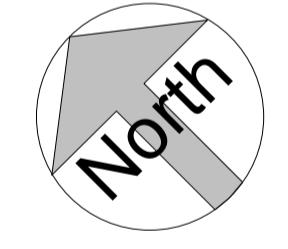
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**Proposed Block Plan**  
1 : 500



**Location Plan**  
1 : 1250



Rev	Date	By	Detail
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**Drawing status**  
Planning Application

**Client**  
The GAP Centre

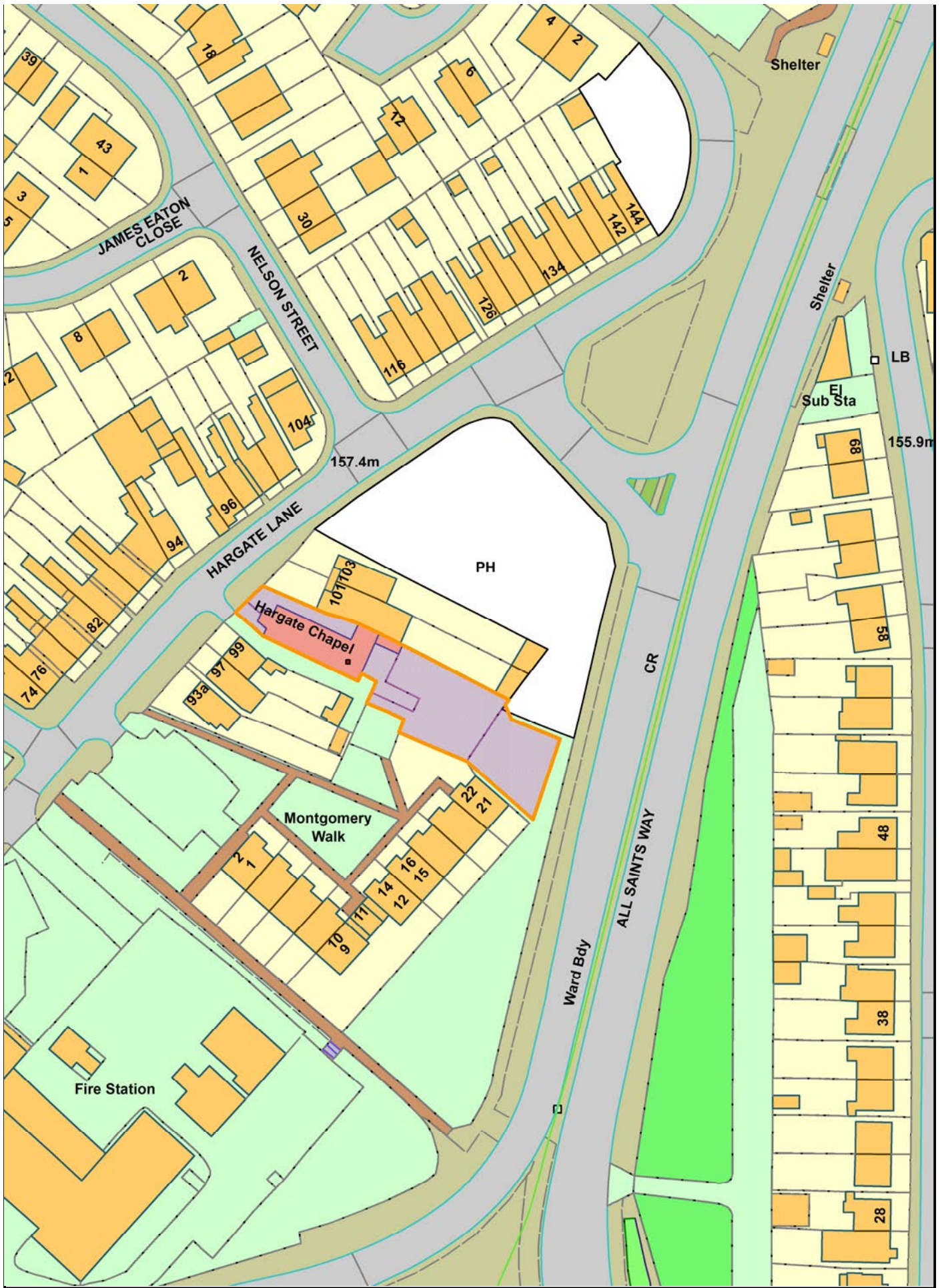
**Project/Location**  
**Extensions and alterations to existing centre**

The GAP Centre,  
Hargate Ln,  
West Bromwich  
B71 1PH

**Drawing title**  
**Location Plan & Block Plan**

Scale(s)	Date	Drawn	Checked	Job Number
As indicated @A1	08/02/22	JK	JK	2052

Drawing number	Revision
2052-XX-XX-XX-DR-A-0110	

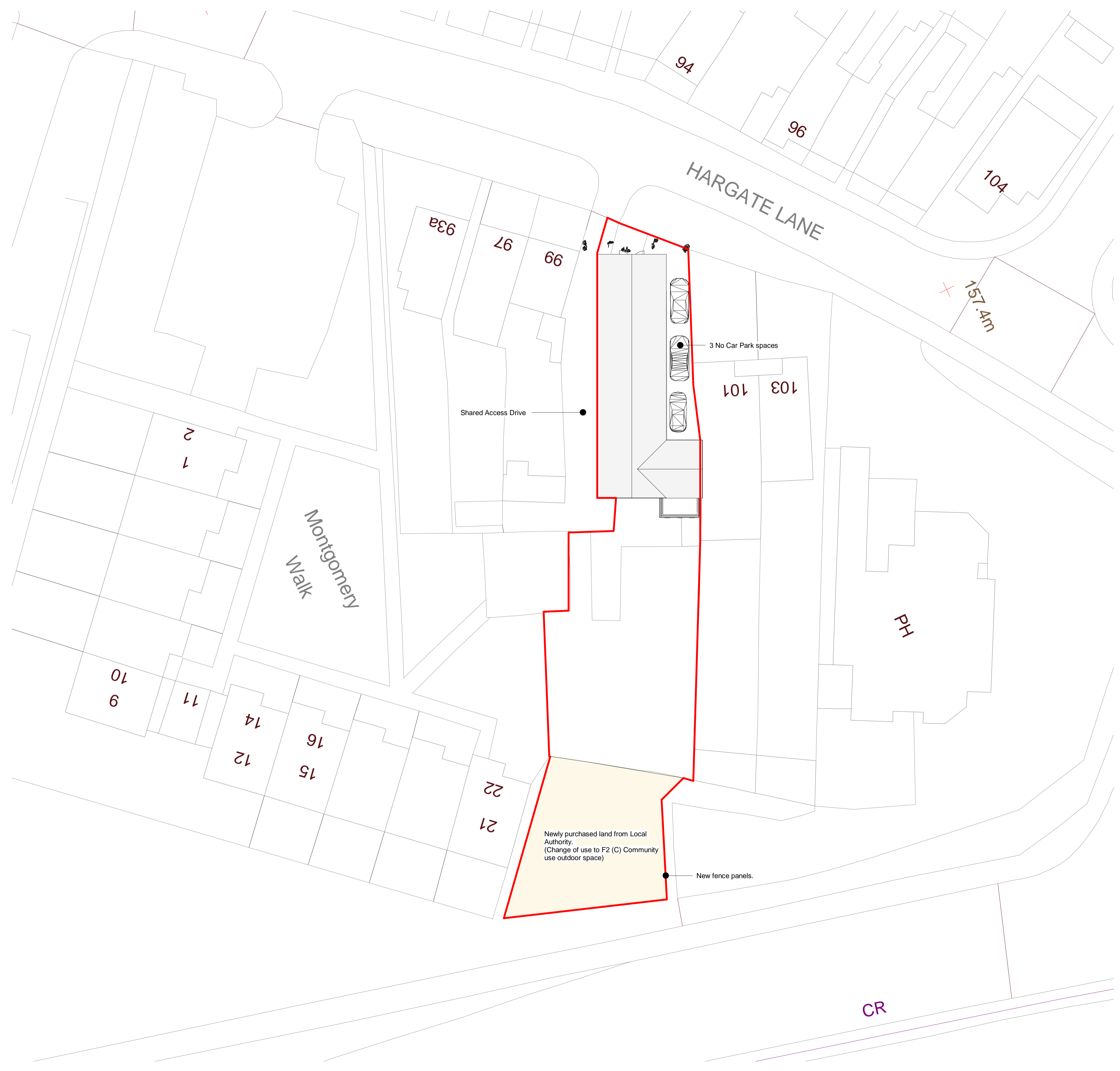


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Rev	Date	By	Detail



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**Drawing status**  
 Planning Application

**Client**  
 The GAP Centre

**Project/Location**  
 Extensions and alterations to existing centre

The GAP Centre,  
 Hargate Ln,  
 West Bromwich  
 B71 1PH

**Drawing title**  
 Proposed Site Plan

Scale(s)	Date	Drawn	Checked	Job Number
1 : 200 @A1	08/02/22	JK	JK	2052

Drawing number	Revision
2052-XX-XX-XX-DR-A-0109	

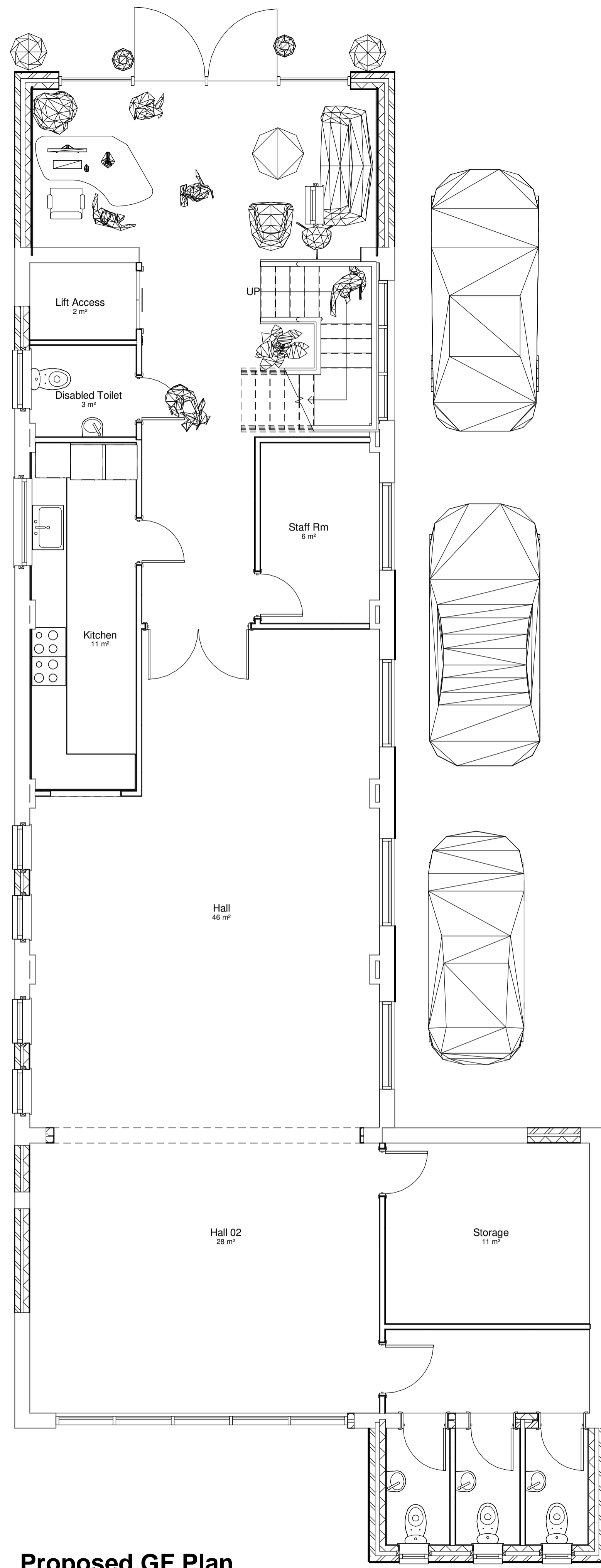
**Proposed Site Plan**  
 1 : 200

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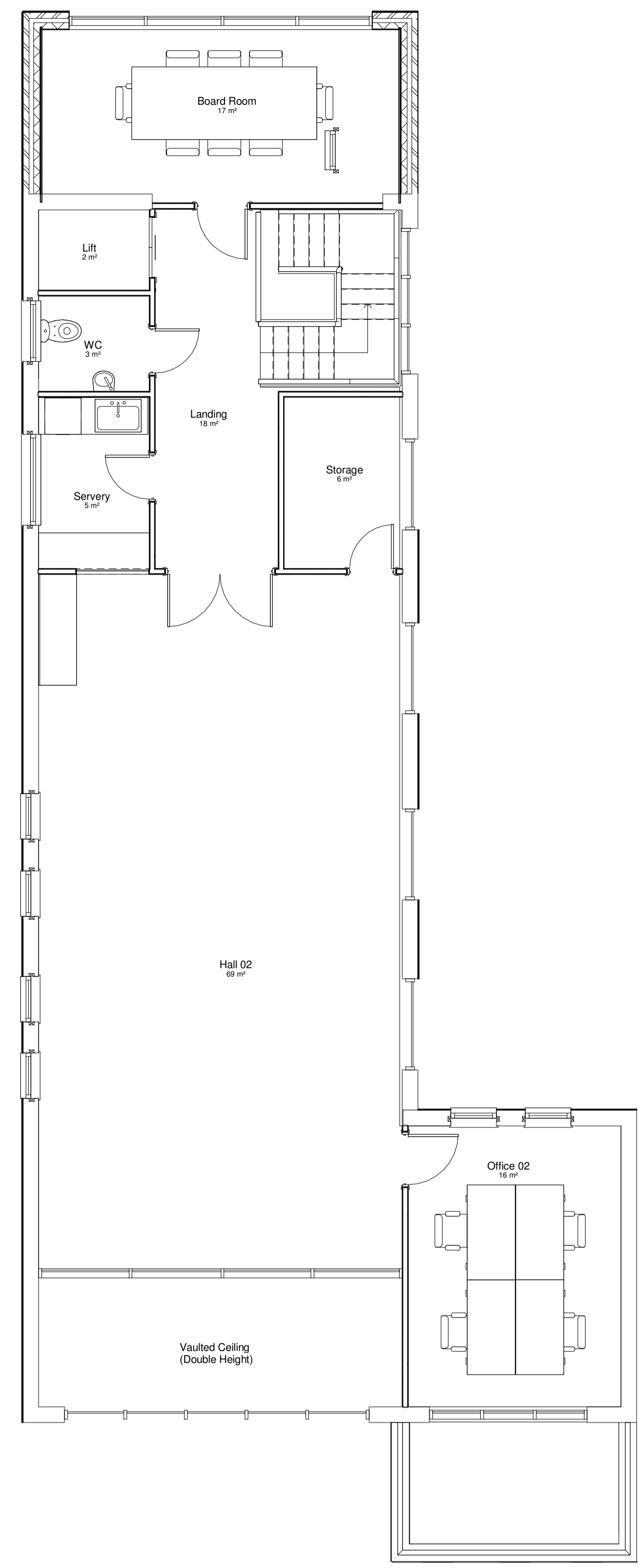
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**Proposed GF Plan**  
1 : 50



**Proposed FF Plan**  
1 : 50



Rev	Date	By	Detail
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**Drawing status**  
 Planning Application

**Client**  
 The GAP Centre

**Project/Location**  
**Extensions and alterations to existing centre**

The GAP Centre,  
 Hargate Ln,  
 West Bromwich  
 B71 1PH

**Drawing title**  
**Proposed GA Plans**

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Drawing number	Revision
2052-XX-XX-XX-DR-A-0102	



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**Proposed Front Elevation**  
1 : 50



**Proposed Rear Elevation**  
1 : 50



**Proposed Side Elevation A**  
1 : 50



Rev	Date	By	Detail



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**Drawing status**  
Planning Application

**Client**  
The GAP Centre

**Project/Location**  
Extensions and alterations to existing centre

The GAP Centre,  
Hargate Ln,  
West Bromwich  
B71 1PH

**Drawing title**  
Proposed Elevations Sheet 1

Scale(s)	Date	Drawn	Checked	Job Number
1 : 50 @ A1	08/02/22	JK	JK	2052

Drawing number	Revision
2052-XX-XX-XX-DR-A-0104	

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**Proposed Side Elevation B**  
1 : 50



Rev	Date	By	Detail
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**Drawing status**  
Planning Application

**Client**  
The GAP Centre

**Project/Location**  
**Extensions and alterations to existing centre**

The GAP Centre,  
Hargate Ln,  
West Bromwich  
B71 1PH

**Drawing title**  
**Proposed Elevations Sheet 2**

Scale(s)	Date	Drawn	Checked	Job Number
1 : 50 @ A1	08/02/22	JK	JK	2052

Drawing number	Revision
2052-XX-XX-XX-DR-A-0105	



Proposed Front Elevation



Proposed Rear Elevation



Main Reception Area



Proposed Ground Floor Hall

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MAIN RECEPTION AREA



MAIN ENTRANCE EXTERNAL



INTERNAL DOUBLE HEIGHT SPACE

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Rev Date By



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Drawing status

Planning Applica

Client

The GAP Centre

Project/Location

Extension existing ce

The GAP Centre, Hangeley Ln, West Bromwich B71 1PH

Drawing title

Proposed Visual

Scale(s) Date

@ A1 08/02/22

Drawing number

2052-XX-XX-XX-DR-A-C

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## Report to Planning Committee

**10 May 2023**

<b>Application Reference</b>	DC/23/68061
<b>Application Received</b>	7 <sup>th</sup> March 2023
<b>Application Description</b>	Temporary permission for two years for a proposed access ramp and new entrance to side.
<b>Application Address</b>	Christian Youth And Community Service, The GAP Centre, Hargate Lane, West Bromwich, B71 1PH
<b>Applicant</b>	The GAP Centre
<b>Ward</b>	Hateley Heath
<b>Contact Officer</b>	William Stevens <a href="mailto:William_stevens@sandwell.gov.uk">William_stevens@sandwell.gov.uk</a>

### 1 Recommendations


1.1 That planning permission is granted for a period of two years only.

### 2 Reasons for Recommendations

2.1 The access ramp serving an existing building is acceptable and is of satisfactory design that is anticipated not to cause any private amenity issues to the occupiers of the adjacent properties. Furthermore, given its temporary use, this would not hinder future redevelopment of the site.



### 3 How does this deliver objectives of the Corporate Plan?

	People live well and age well
---	-------------------------------

### 4 Context

- 4.1 The application is before your committee as the applicant is related to a local Councillor.
- 4.2 To assist members with site context, a link to Google Maps is provided below:

[The GAP Centre, Hargate Lane, West Bromwich](#)

### 5 Key Considerations

- 5.1 The site relates to a Christian centre within a predominately residential area.
- 5.2 The material planning considerations which are relevant to this application are: -

Government policy (NPPF)

### 6. The Application Site

- 6.1 The application site relates to a Christian centre on the eastern side of Hargate Lane, West Bromwich. The application site is within a residential area.

### 7. Planning History

- 7.1 Planning permission was granted in 2020 for a two-storey side/rear extensions, single storey front/rear extensions and first floor conversion



which has not been implemented. A revised application (DC/23/68006) has been submitted and is subject to determination by your Committee.

7.3 Relevant planning applications are as follows:

DC/19/63709	Proposed two storey side/rear extensions, single storey front/rear extensions and first floor conversion.	Grant Permission subject to Conditions 13/02/2020
DC/23/68006	Proposed single storey front and rear extensions, first floor extension, external alterations, change of use to recreational use (Class F2(c) and associated parking.	Pending consideration (on this Committee Agenda)

8. Application Details

8.1 It is proposed to erect an access ramp to the side of the building. However, Members will note DC/23/68006 on their agenda where this space is proposed for off-street parking. Therefore, it has been agreed that this use is for a temporary period only to allow access to the building whilst funding is sought for the redevelopment of the site.



## 9. Publicity

9.1 The application has been publicised by neighbour notification letters with one objection received.

## 9.2 Objections

An objection has been received but these relate to the planning application for new development which is also before your committee and discussed within this report.

## 10. Consultee responses

10.1 None.

## 11. National Planning Policy

11.1 I am of the opinion that the scheme is of a good design, in accordance with paragraph 124 of the NPPF.

## 12. Local Planning Policy

12.1 The following policies of the council's Development Plan are relevant:

ENV3: Design Quality

SAD EOS9: Urban Design Principles

12.2 ENV3 and SAD EOS9 refers to well-designed schemes that provide quality living environments. The proposed layout and design are considered to be acceptable with no concerns being raised from Urban Design.





### 13. Material Considerations

13.1 National and local planning policy considerations have been referred to above in Sections 11 and 12. With regards to the other material considerations, these are highlighted below:

### 14 Alternative Options

14.1 Refusal of the application is an option if there are material planning reasons for doing so. In my opinion the proposal is compliant with relevant polices and there are no material considerations that would justify refusal.

### 15 Implications

<b>Resources:</b>	When a planning application is refused the applicant has a right of appeal to the Planning Inspectorate, and they can make a claim for costs against the Council.
<b>Legal and Governance:</b>	This application is submitted under the Town and Country Planning Act 1990.
<b>Risk:</b>	None.
<b>Equality:</b>	There are no equality issues arising from this proposal and therefore an equality impact assessment has not been carried out.
<b>Health and Wellbeing:</b>	None.
<b>Social Value</b>	None.
<b>Climate Change</b>	Sandwell Council supports the transition to a low carbon future, in a way that takes full account of the need to adapt to and mitigate climate change. Proposals that help to shape places in ways that contribute to radical reductions in greenhouse gas emissions, minimise vulnerability and improve resilience; encourage the reuse of existing resources, including the conversion of existing buildings; and support renewable and low carbon energy and associated infrastructure, will be welcomed.



## 16. Appendices

Location Plan  
Context Plan  
Floor plan  
Elevation plan

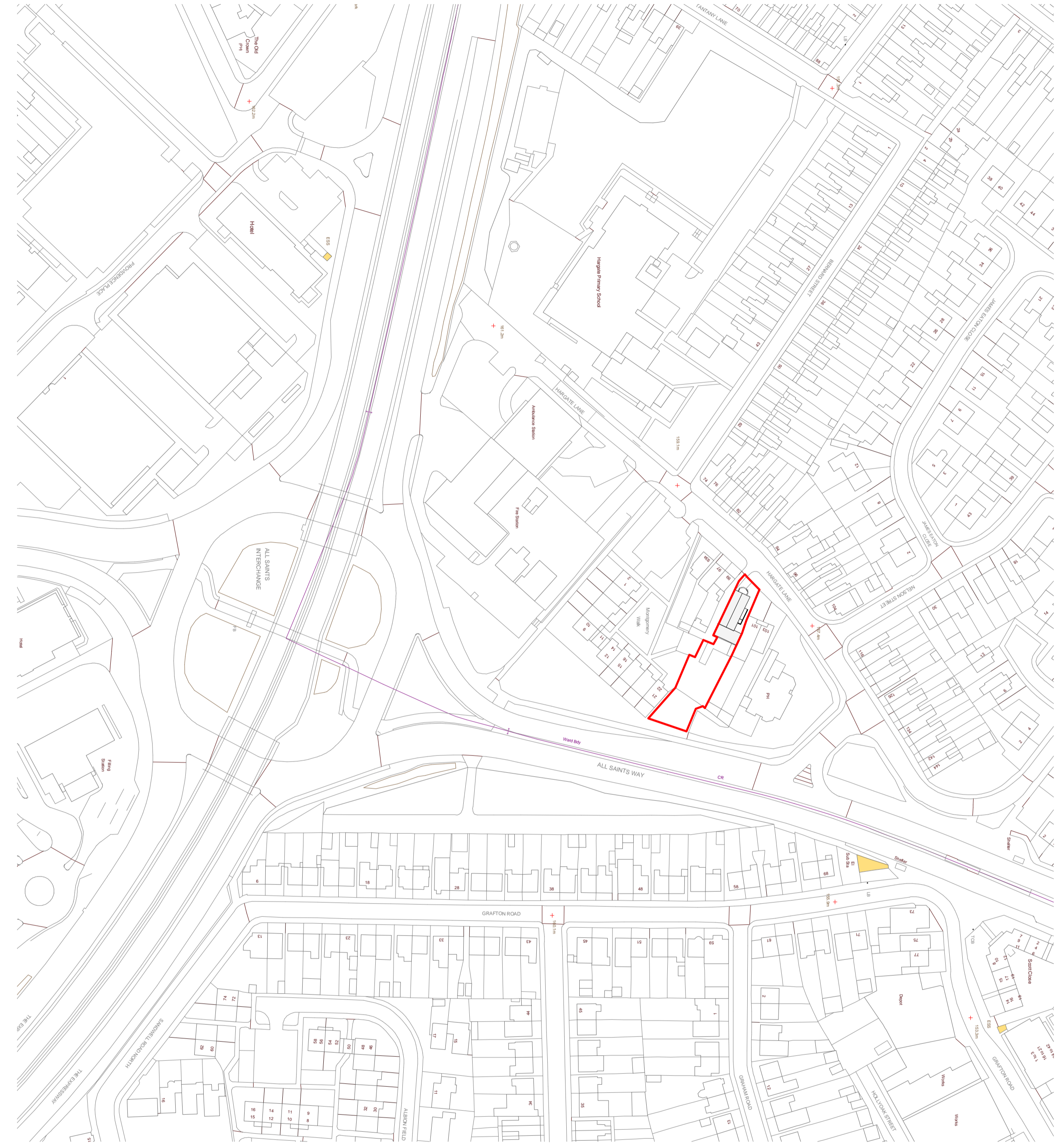


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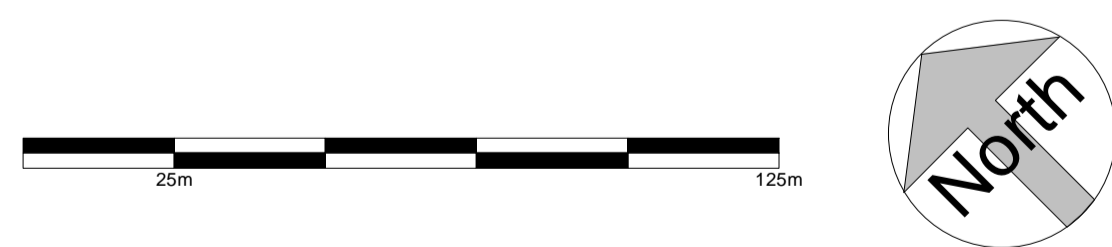
All heights, sizes, levels and dimensions are to be checked on site prior to the commencement of the works any omissions are to be reported to ICI Architecture Studio at once.

Figured dimensions are to be taken in preference to scaling and any errors are to be reported to us.

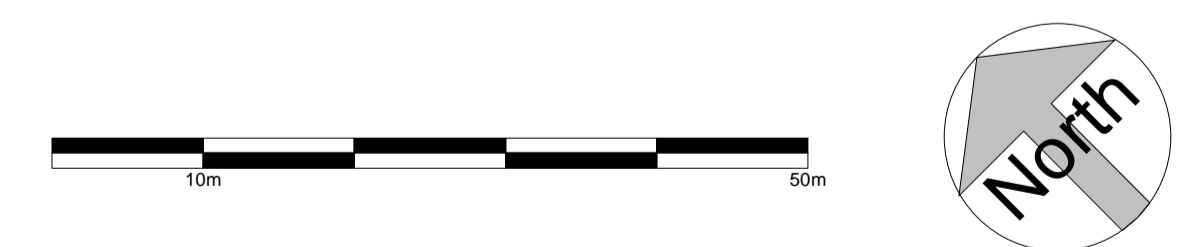
This drawing has been prepared in accordance with the CDM (Construction Design Management) and all foreseeable design risks to those involved or affected by the construction have been avoided wherever possible.



**Location Plan**  
1 : 1250



**Block Plan**  
1 : 500



Rev	Date	By	Detail



Tel: 01260 602 005    www.ICI-Architecture.co.uk

Team@iciarchitecture.co.uk

**Drawing status**  
Planning Application

**Client**  
The GAP Centre

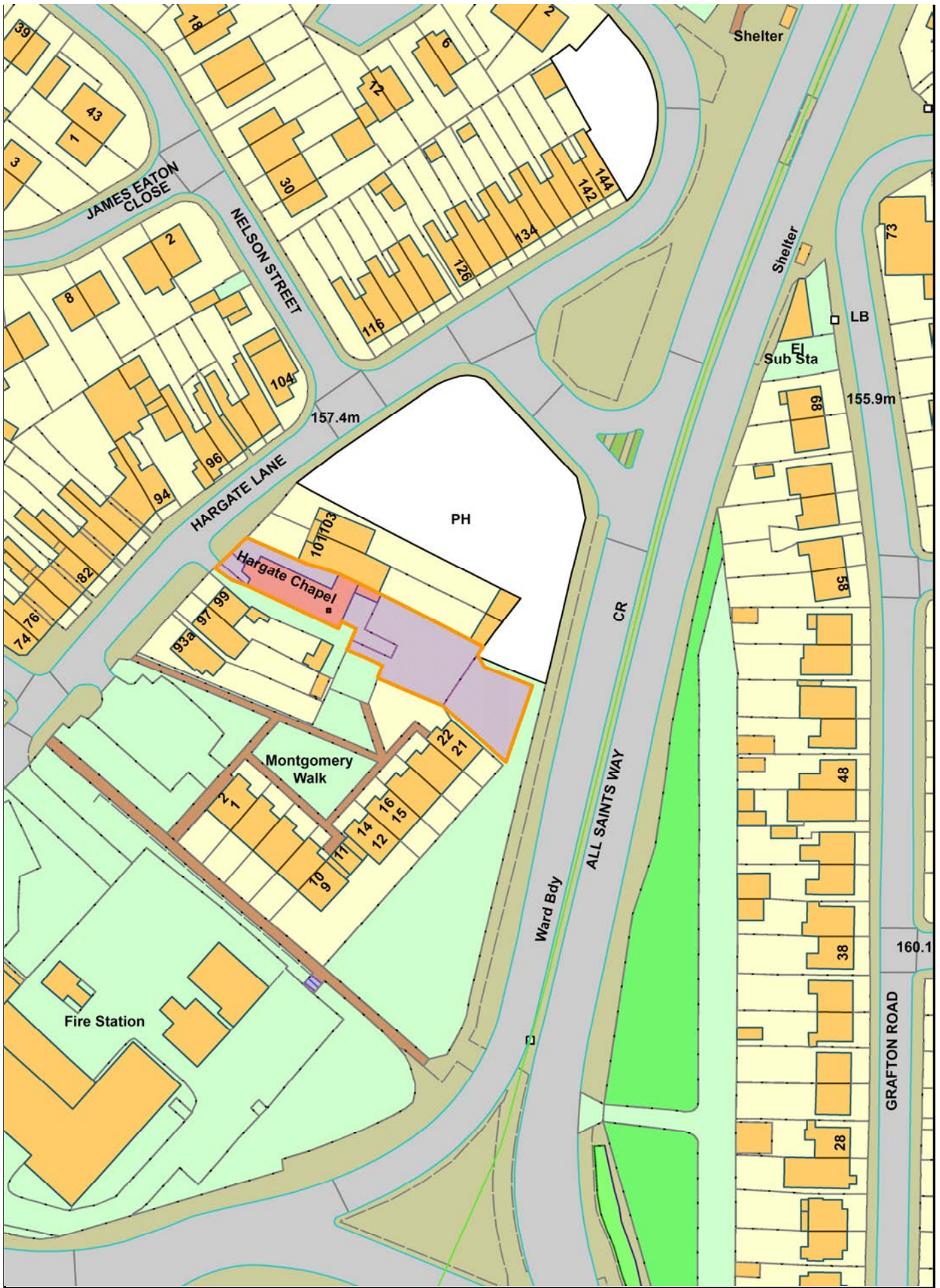
**Project/Location**  
New Disabled Access & WC

The GAP Centre,  
Hargate Ln,  
West Bromwich  
B71 1PH

**Drawing title**  
Location Plan & Block Plan

Scale(s)	Date	Drawn	Checked	Job Number
As indicated	03/03/23	JK	JK	2052

Drawing number	Revision
2052-XX-XX-XX-DR-A-0115	



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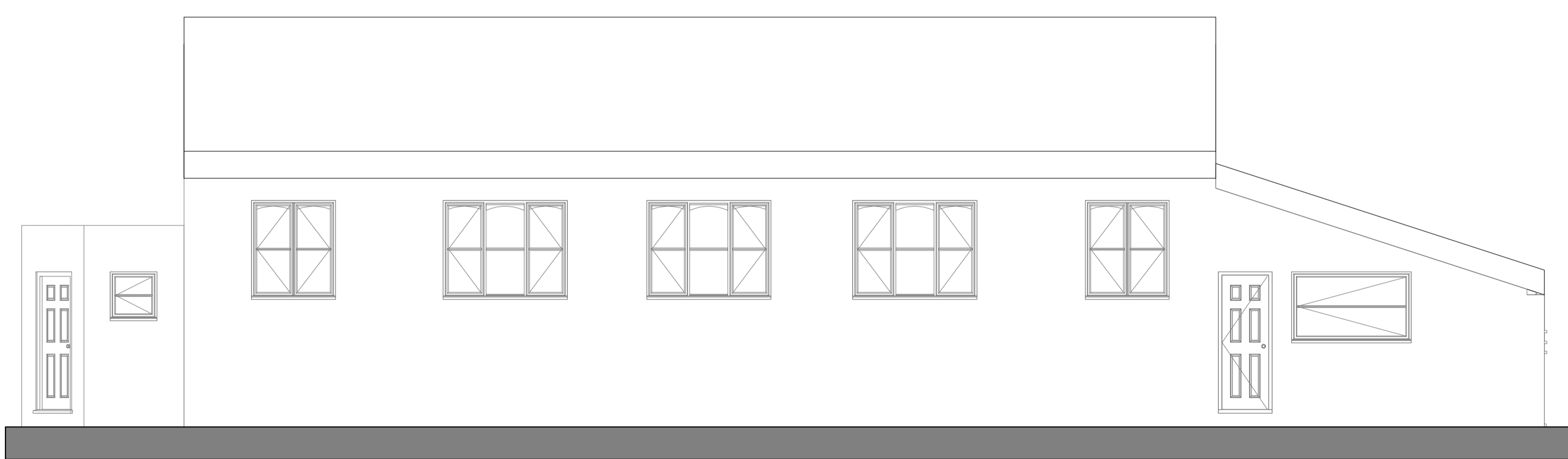
**Proposed Front Elevation**  
1 : 50



**Proposed Side Elevation A**  
1 : 50



**Proposed Rear Elevation**  
1 : 50



**Proposed Side Elevation B**  
1 : 50



Rev Date By Detail



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**Drawing status**  
Planning Application

**Client**  
The GAP Centre

**Project/Location**  
New Disabled Access & WC

The GAP Centre,  
Hargate Ln,  
West Bromwich  
B71 1PH

**Drawing title**  
Proposed Elevations

Scale(s)	Date	Drawn	Checked	Job Number
1 : 50 @ A1	03/03/23	JK	JK	2052

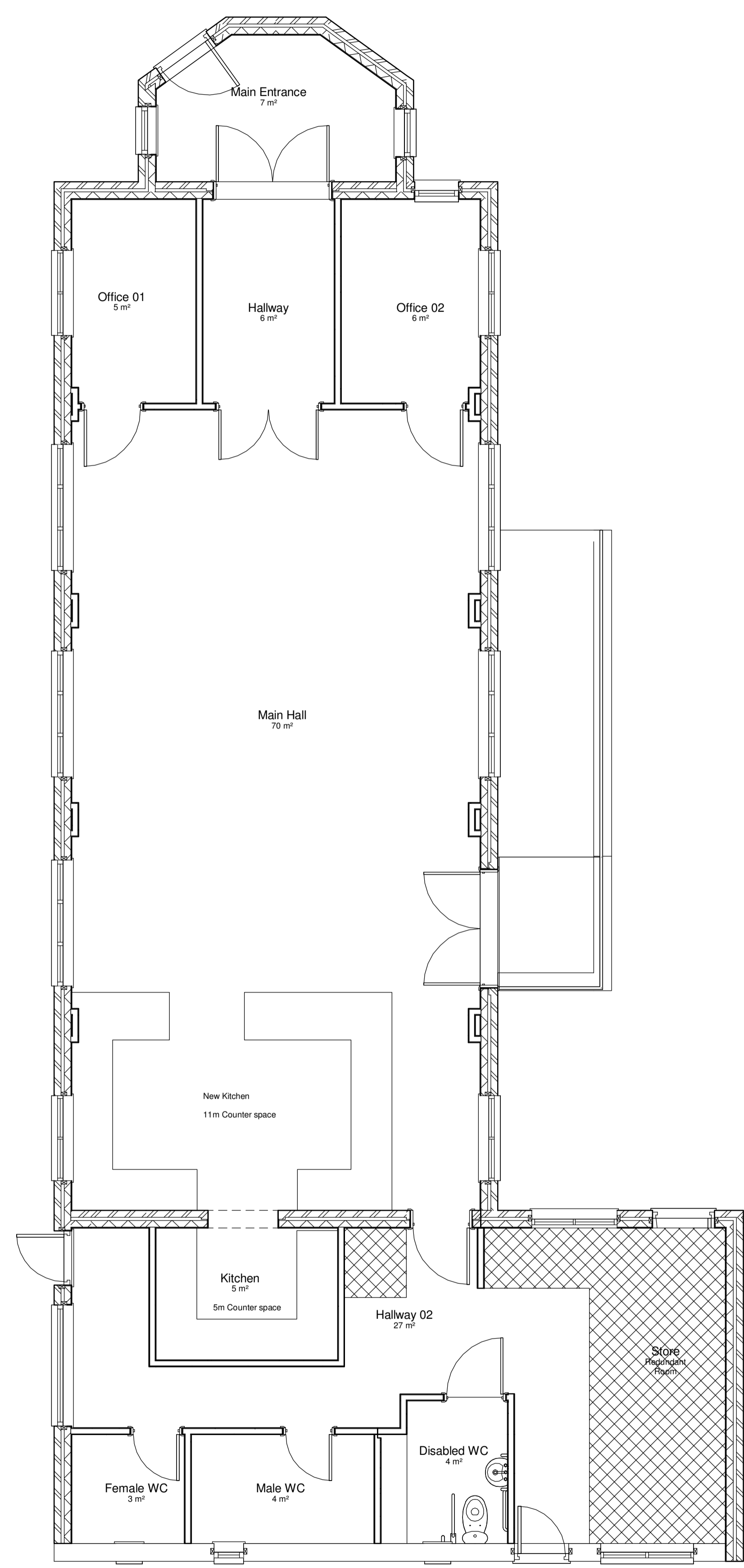
Drawing number	Revision
2052-XX-XX-XX-DR-A-0114	

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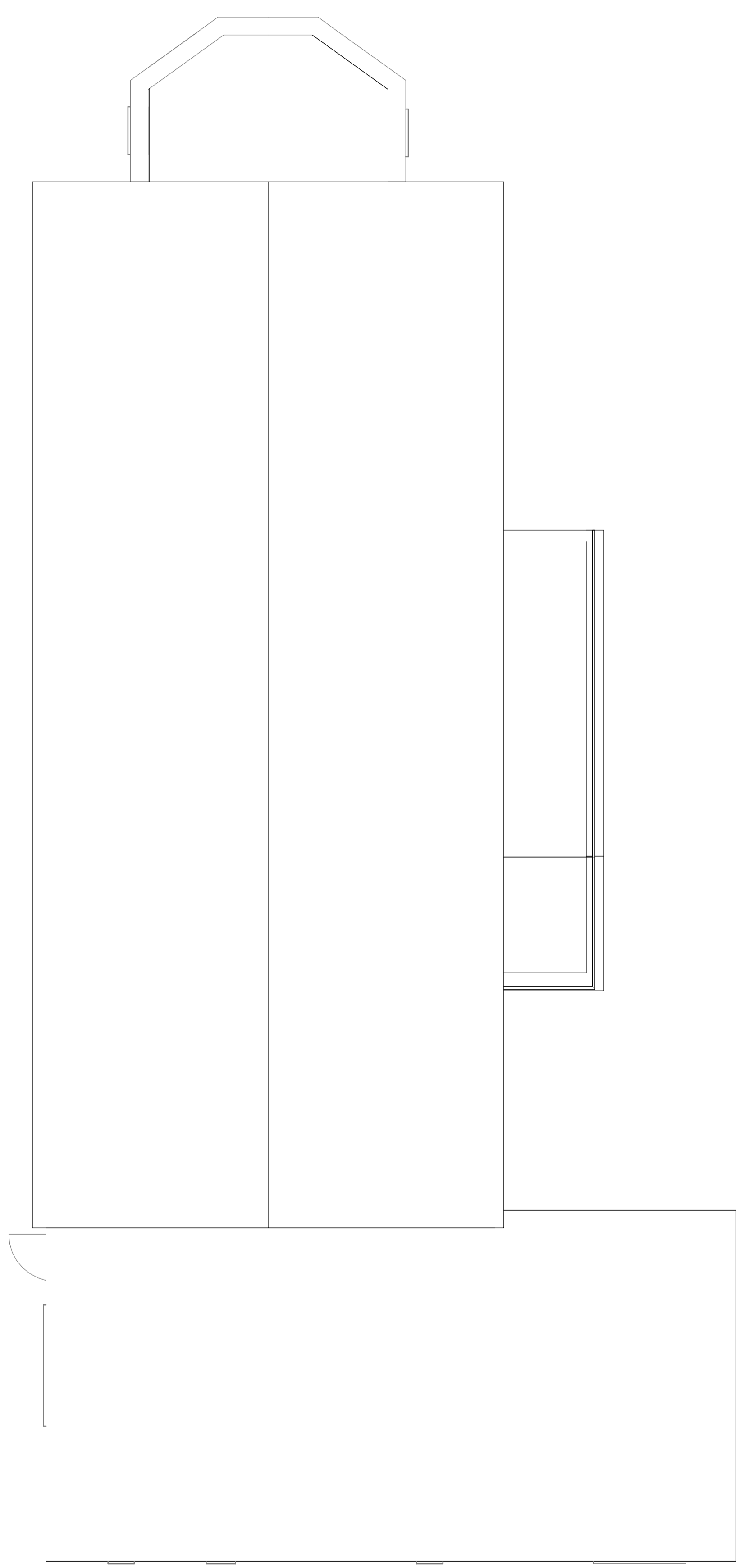
All heights, sizes, levels and dimensions are to be checked on site prior to the commencement of the works any omissions are to be reported to ICI Architecture Studio at once.

Figured dimensions are to be taken in preference to scaling and any errors are to be reported to us.

This drawing has been prepared in accordance with the CDM (Construction Design Management) and all foreseeable design risks to those involved or affected by the construction have been avoided wherever possible.



**Proposed GF Plan**  
1 : 50



**Proposed Roof Plan**  
1 : 50

Rev	Date	By	Detail



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Team@iciarchitecture.co.uk

**Drawing status**  
Planning Application

**Client**  
The GAP Centre

**Project/Location**  
New Disabled Access & WC

The GAP Centre,  
Hargate Ln,  
West Bromwich  
B71 1PH

**Drawing title**  
Proposed GA Plans

Scale(s)	Date	Drawn	Checked	Job Number
1 : 50 @A1	06/03/20	JK	JK	2052

Drawing number	Revision
2052-XX-XX-XX-DR-A-0113	

## Report to the Planning Committee

**10 May 2023**

<b>Subject:</b>	Proposed Site Visits
<b>Director:</b>	Director – Regeneration and Growth Tony McGovern
<b>Contact Officer:</b>	John Baker Service Manager - Development Planning and Building Consultancy <a href="mailto:John_baker@sandwell.gov.uk">John_baker@sandwell.gov.uk</a>  Alison Bishop Development Planning Manager <a href="mailto:Alison_bishop@sandwell.gov.uk">Alison_bishop@sandwell.gov.uk</a>





### 1 Recommendations

- 2 That the Committee notes that the following planning application(s) will be visited by the Committee at your next meeting in June.

### 3 Reasons for Recommendations

- 3.1 Planning officers recommend these visit(s) to assist with the timescales set by government for reaching decisions on planning applications and when an application has generated substantial public interest.

### 4 How does this deliver objectives of the Corporate Plan?

		We now have many new homes to meet a full range of housing needs in attractive neighbourhoods and close to key transport routes. Our distinctive towns and neighbourhoods are successful centres of community life, leisure and entertainment where people increasingly choose
		



to bring up their families.

Sandwell now has a national reputation for getting things done, where all local partners are focused on what really matters in people's lives and communities.

## 5 Context and Key Issues

- 5.1 Planning applications can generate considerable public interest and it is considered that in some circumstances a visit to the site by the planning committee will assist them in understanding the proposal in relation to the surrounding area.
- 5.2 Visiting the site earlier in the planning process can assist with the timescales set by government for reaching decisions on planning applications.
- 5.3 In the event that the application does not generate objections, then members will no longer be required to consider the planning application before their committee and instead the application will be decided under delegated powers.
- 5.4 Site visit(s) for the following planning application(s) are reported. A location plan and site layout are attached:-

Application No., description & address	Date received	Reason
DC/22/67796 Proposed single storey detached coffee shop with drive thru, new access, parking, enclosed bin area, landscaping and associated infrastructure. At Land At Horner Way Rowley Regis	12.12.2022	To consider the surrounding area in relation the highway network.



## 6 Alternative Options

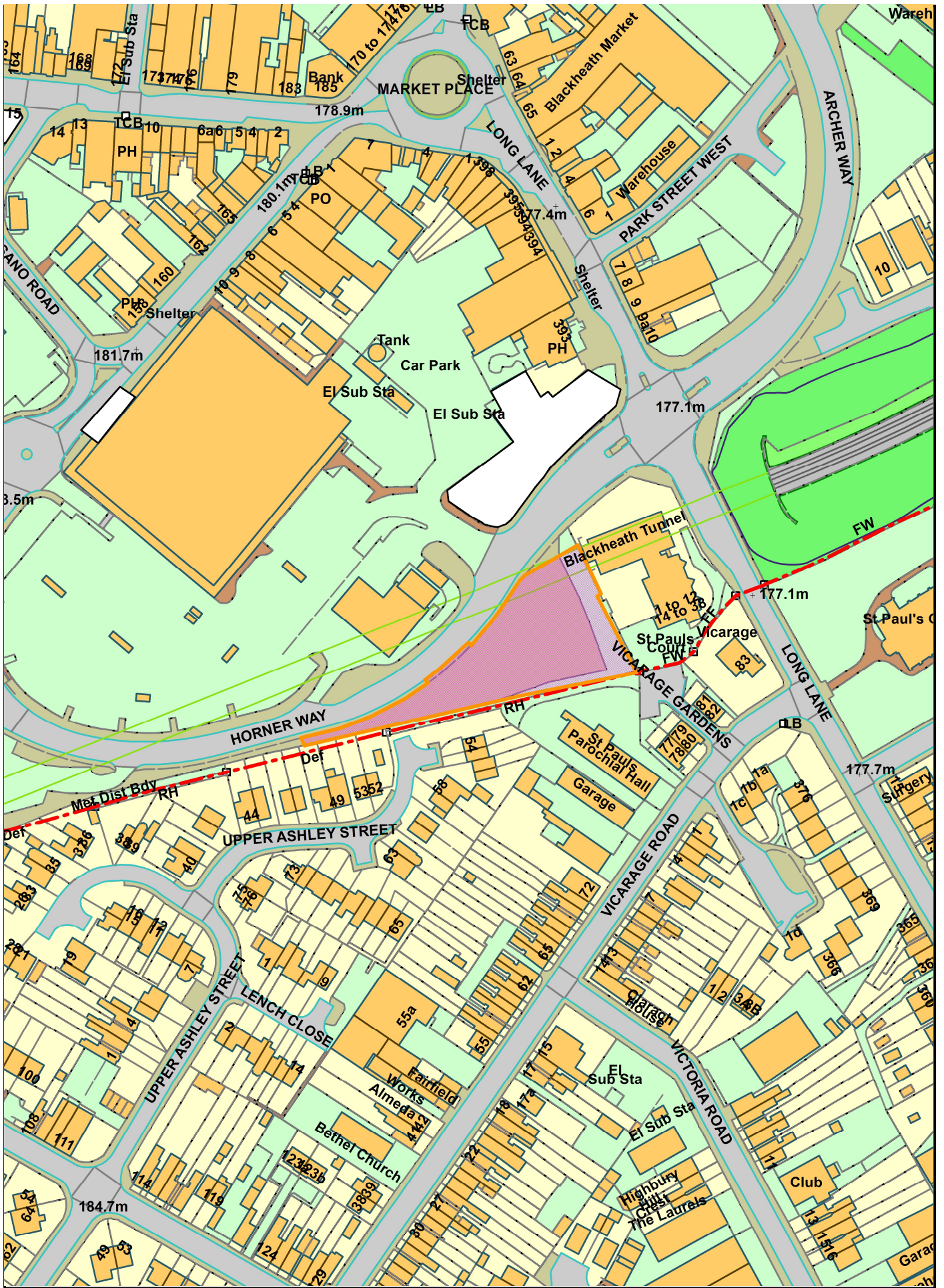
6.1 There are no alternative options.

## 7. Implications

<b>Resources:</b>	There are no direct implications in terms of the Council's strategic resources. If the Planning Inspectorate overturns the Committee's decision and grants consent, the Council may be required to pay the costs of such an appeal, for which there is no designated budget.
<b>Legal and Governance:</b>	The Planning Committee has delegated powers to determine planning applications within current Council policy. Section 78 of the Town and Country Planning Act 1990 gives applicants a right to appeal when they disagree with the local authority's decision on their application, or where the local authority has failed to determine the application within the statutory timeframe
<b>Risk:</b>	There are no risks associated with this report.
<b>Equality:</b>	There are no equality implications associated with this report.
<b>Health and Wellbeing:</b>	There are no health and wellbeing implications associated with this report.
<b>Social Value</b>	There are no implications linked to social value with this report.

## 8. Appendices

Location plan  
Site layout plan





PROPOSED COSTA COFFEE – BLACKHEATH, BIRMINGHAM  
 SITE LAYOUT 1:500@A3



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## Report to the Planning Committee

**10 May 2023**

<b>Subject:</b>	Decisions of the Planning Inspectorate
<b>Director:</b>	Director – Regeneration and Growth Tony McGovern
<b>Contact Officer:</b>	John Baker Service Manager - Development Planning and Building Consultancy <a href="mailto:John_baker@sandwell.gov.uk">John_baker@sandwell.gov.uk</a>  Alison Bishop Development Planning Manager <a href="mailto:Alison_bishop@sandwell.gov.uk">Alison_bishop@sandwell.gov.uk</a>







### **1 Recommendations**

- 1.1 That Planning Committee notes the decisions of the Planning Inspectorate as detailed in the attached appendices.

### **2 Reasons for Recommendations**

- 2.1 This report is submitted to inform the Committee of the outcomes of appeals that have been made to the Planning Inspectorate by applicants who were unhappy with the Committee's decision on their application.

### 3 How does this deliver objectives of the Corporate Plan?

		We now have many new homes to meet a full range of housing needs in attractive neighbourhoods and close to key transport routes.
		Our distinctive towns and neighbourhoods are successful centres of community life, leisure and entertainment where people increasingly choose to bring up their families.
		Sandwell now has a national reputation for getting things done, where all local partners are focused on what really matters in people's lives and communities.

### 4 Context and Key Issues

- 4.1 Applicants who disagree with the local authority's decision on their planning application may submit an appeal to the Planning Inspectorate. An appeal may also be made where the local authority has failed to determine the application within the statutory timeframe.
- 4.2 Appeals must be submitted within 3 months (householder proposals) six months (commercial developments) of the date of the local authority's decision notice.
- 4.3 Decisions on the following appeals are reported, with further detailed set out in the attached decision notice:-

<b>Application Ref</b>	<b>Site Address</b>	<b>Inspectorate</b>
PD/22/02045	129 Charlemont Road West Bromwich B71 3EH	Dismissed

## 5 Alternative Options

5.1 There are no alternative options.

## 6 Implications

<b>Resources:</b>	There are no direct implications in terms of the Council's strategic resources. If the Planning Inspectorate overturns the Committee's decision and grants consent, the Council may be required to pay the costs of such an appeal, for which there is no designated budget.
<b>Legal and Governance:</b>	The Planning Committee has delegated powers to determine planning applications within current Council policy. Section 78 of the Town and Country Planning Act 1990 gives applicants a right to appeal when they disagree with the local authority's decision on their application, or where the local authority has failed to determine the application within the statutory timeframe
<b>Risk:</b>	There are no risks associated with this report.
<b>Equality:</b>	There are no equality implications associated with this report.
<b>Health and Wellbeing:</b>	There are no health and wellbeing implications associated with this report.
<b>Social Value</b>	There are no implications linked to social value with this report.
<b>Climate Change</b>	Sandwell Council supports the transition to a low carbon future, in a way that takes full account of the need to adapt to and mitigate climate change. Proposals that help to shape places in ways that contribute to radical reductions in greenhouse gas emissions, minimise vulnerability and improve resilience; encourage the reuse of existing resources, including the conversion of existing buildings; and support renewable and low carbon energy and associated infrastructure, will be welcomed.

## 7. Appendices

Appeal Decision



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# Appeal Decision

by **S A Hanson BA(Hons) BTP MRTPI**

an Inspector appointed by the Secretary of State

**Decision date: 10 March 2023**

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## **Appeal Ref: APP/G4620/D/22/3296885**

### **129 Charlemont Road, West Bromwich, West Midlands B71 3EH**

- The appeal is made under section 78 of the Town and Country Planning Act 1990 against a refusal to grant approval required under Article 3(1) and Schedule 2, Part 1, Class AA of the Town and Country Planning (General Permitted Development) (England) Order 2015 (as amended).
  - The appeal is made by Mr Sundeep Singh against the decision of Sandwell Metropolitan Borough Council.
  - The application Ref PD/22/02045, dated 8 February 2022, was refused by notice dated 6 April 2022.
  - The development proposed is described as an amendment and re-submission of a previously submitted prior approval application which was refused by LPA and dismissed at appeal.
- 

## **Decision**

1. The appeal is dismissed.

## **Preliminary Matters**

2. Under Article 3(1) and Schedule 2, Part 1, Class AA of the Town and Country Planning (General Permitted Development) (England) Order 2015 as amended (the GPDO), planning permission is granted for the enlargement of a dwellinghouse consisting of the construction of one additional storey, where the existing dwellinghouse consists of one storey, immediately above the topmost storey of the dwellinghouse, together with any engineering operations reasonably necessary for the purpose of that construction. Development is permitted by Class AA subject to the conditions set out in sub-paragraphs (2) and (3).
3. Development under Class AA is permitted subject to the condition that before beginning the development, the developer must apply to the local planning authority for prior approval. The local planning authority may refuse the application where it considers that the proposal does not comply with the limitations or restrictions that are applicable to such permitted development.
4. The provisions of the GPDO require the local planning authority to assess the development proposed based solely on a number of considerations. These include the external appearance of the dwellinghouse. The council describe the proposal in its decision notice as a "proposed first floor storey extension (Class AA application) (subsequent to refused application PD/21/01708)". The Council raised concerns in respect of the effect of the development upon the visual amenity of the area and in determining the application, refused prior approval on grounds relating to matters at paragraph AA.2.(3)(a)(ii).



5. Notwithstanding that the introduction of Class AA was, in part, to give freedom to householders to extend properties, recent case law<sup>1</sup> has confirmed that, for Class AA proposals, the control of the external appearance of the dwelling is not limited to impact on the subject property itself, but also includes impact on neighbouring premises and the locality.
6. It has not been necessary to visit the site for this appeal as the site had been visited for the previous appeal. Both parties were contacted regarding this matter and given the opportunity to comment on the appropriateness of the proposed approach. No comments were received.

### **Main Issue**

7. This is whether prior approval should be granted having regard to the resulting external appearance of the dwellinghouse on the surrounding area.

### **Reasons**

8. The appeal site is a detached brick built bungalow with a staggered form, located in a predominantly residential area. It has a wide open frontage and is situated opposite a road junction in a visually prominent position. It is a slight anomaly within the area as it is an older property surrounded by more recent higher density development, such as two-storey terraced properties and three eight-storey tower blocks within the opposite street.
9. The property has been extended to the rear and side at ground floor level. One section of the bungalow has been extended into the roof space with a hip-to-gable and flat roof rear dormer which covers the entire width of that section of the roof. The appeal scheme seeks to create an additional storey to provide residential accommodation at first floor level on the part of the building that does not contain the loft conversion.
10. The proposal would measure 7.18m in width and 5.77m in depth and would create space for an additional bedroom, bathroom and landing area. The appellant provides that the ridge height would be raised by 950mm, and this is shown on the plans to be level with the converted loft space and rear box dormer, although the ridgeline running perpendicular is shown on some plans to be slightly higher. The external walls and roof would be constructed using similar materials to the existing property, brick and render.
11. The existing property has been extended significantly and reference to its original form remains solely in the front elevation of the section to which the appeal relates. While the property does appear unbalanced following recent works, raising the roof and eaves as proposed would appear awkward next to the adjoining enlarged section of the property. This is particularly so because it would expose a mass of blank brick work above the existing openings. Being the principal elevation, with extended open views towards the property, the frontage would appear out of proportion and visually distorted.
12. Furthermore, this would be more pronounced due to the design of the adjoining section where the eaves extend to just above the top of the windows and door. There are acute design differences between the way the property has been altered and extended, and the appeal proposal before me. The addition, as proposed, would result in a visually discordant building, and its effect in terms

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<sup>1</sup> *CAB Housing Ltd v SSLUHC and Broxbourne BC* [2023] EWCA Civ 194

of the building's intrinsic design and relationship with its surroundings would be compromised.

13. Overall, I consider that the proposal would not compliment the appeal property and would result in an incoherent build which would be visually displeasing within its surroundings. In this respect, the proposal would be contrary to the requirements of paragraph AA.2(3)(a)(ii) of Class AA of Part 1, Schedule 2 of the GPDO.

**Conclusion**

14. For the above reason, and taking account of all other matters raised, prior approval is refused and the appeal is dismissed.

*S A Hanson*

INSPECTOR

## Report to the Planning Committee

10 May 2023

<b>Subject:</b>	Applications Determined Under Delegated Powers
<b>Director:</b>	Director of Regeneration and Growth Tony McGovern
<b>Contact Officer:</b>	John Baker Service Manager – Development Planning and Building Consultancy <a href="mailto:John_Baker@sandwell.gov.uk">John_Baker@sandwell.gov.uk</a>  Alison Bishop Development Planning Manager <a href="mailto:Alison_Bishop@sandwell.gov.uk">Alison_Bishop@sandwell.gov.uk</a>

### 1 Recommendations







- 1.1 That the Planning Committee notes the applications determined under delegated powers by the Director – Regeneration and Growth set out in the attached Appendix.

### 2 Reasons for Recommendations

- 2.1 This report is submitted to inform the Committee of the decisions on applications determined under delegated powers by the Director – Regeneration and Growth.



### 3 How does this deliver objectives of the Corporate Plan?

		We now have many new homes to meet a full range of housing needs in attractive neighbourhoods and close to key transport routes.
		Our distinctive towns and neighbourhoods are successful centres of community life, leisure and entertainment where people increasingly choose to bring up their families.
		Sandwell now has a national reputation for getting things done, where all local partners are focused on what really matters in people's lives and communities.

### 4 Context and Key Issues

4.1 The applications determined under delegated powers are set out in the Appendix.

### 5 Alternative Options

There are no alternative options.

### 6 Implications

<b>Resources:</b>	There are no implications in terms of the Council's strategic resources.
<b>Legal and Governance:</b>	The Director – Regeneration and Growth has taken decisions in accordance with powers delegated under Part 3 (Appendix 5) of the Council's Constitution.
<b>Risk:</b>	There are no risk implications associated with this report.
<b>Equality:</b>	There are no equality implications associated with this report.



<b>Health and Wellbeing:</b>	There are no health and wellbeing implications associated with this report.
<b>Social Value</b>	There are no implications linked to social value with this report.
<b>Climate Change</b>	Sandwell Council supports the transition to a low carbon future, in a way that takes full account of the need to adapt to and mitigate climate change. Proposals that help to shape places in ways that contribute to radical reductions in greenhouse gas emissions, minimise vulnerability and improve resilience; encourage the reuse of existing resources, including the conversion of existing buildings; and support renewable and low carbon energy and associated infrastructure, will be welcomed.

## 7 Appendices

Appendix 1 - Applications determined under delegated powers by the Director – Regeneration and Growth.

SANDWELL METROPOLITAN BOROUGH COUNCIL  
PLANNING COMMITTEE

Applications determined under delegated powers by the Director – Regeneration and Growth since your last Committee Meeting

REPORT FOR INFORMATION PURPOSES ONLY

Application No. Ward	Site Address	Description of Development	Decision and Date
DC/22/67686 Tipton Green	99 Park Lane East Tipton DY4 8RE	Proposed conversion of existing dwelling into 3 no. self contained flats and associated parking.	Grant Permission Subject to Conditions  8th March 2023
DC/22/67825 Great Bridge	Unit 1 Bill House 183 Great Bridge Street West Bromwich B70 0DP	Retention of ATM machine.	Grant Conditional Retrospective Consent  8th March 2023
DC/22/6832A Great Bridge	Unit 1 Bill House 183 Great Bridge Street West Bromwich B70 0DP	Retention of 1 No. non-illuminated ATM surround sign and 1 No. internally illuminated logo panel sign.	Grant Advertisement Consent  8th March 2023
DC/23/67844 Abbey	10A Abbey Road Smethwick B67 5RD	Proposed part change of use at ground floor rear and first/second floors from 6 No. bedroom dwelling to 3 No. bedroom apartment with single storey rear extensions and enclosed bin/cycle store to rear.	Grant Permission Subject to Conditions  8th March 2023

Application No. Ward	Site Address	Description of Development	Decision and Date
DC/23/67859 Tividale	112 City Road Oldbury B69 1QS	Retention of single storey rear/side extension (ENF/22/11840)	Grant Retrospective Permission  8th March 2023
DC/23/67861 Greets Green & Lyng	79 Whitgreave Street West Bromwich B70 9AT	Retention of single storey rear extension.	Grant Retrospective Permission  8th March 2023
DC/23/6834A Langley	Land Fronting Oldbury Power Generation Plant Wolverhampton Road Oldbury	Proposed 2 No. free standing internally illuminated 48-sheet D- Poster advertisement hoardings.	Grant Conditional Advertisement Consent  8th March 2023
DOC/23/00542 St Pauls	Galton Village Playcentre 25 Woodland Drive Smethwick B66 1JF	Proposed discharge of conditions 2, 3, 4, 5, 6, 7 and 8 of planning permission DC/22/67647.	Discharged  8th March 2023
DC/23/67873 St Pauls	112 Holly Lane Smethwick B67 7LA	Retention of single storey side/rear extension linking to existing outbuilding in rear garden.	Refuse permission  8th March 2023
DC/23/67887 Abbey	518 Bearwood Road Smethwick B66 4BX	Proposed change of use from cafe to restaurant with hot food takeaway.	Grant Permission Subject to Conditions  8th March 2023

Application No. Ward	Site Address	Description of Development	Decision and Date
DC/23/67911  Oldbury	Ormiston Sandwell Community Academy Lower City Road Tividale Oldbury B69 2HE	Proposed alterations to existing car park and new pedestrian entrance.	Grant Permission Subject to Conditions  8th March 2023
DC/23/67903  West Bromwich Central	6 Lewisham Street West Bromwich B71 4FE	Proposed single storey detached building to rear.	Refuse permission  10th March 2023
DC/22/67798  Smethwick	86 Hales Lane Smethwick B67 6RS	Proposed installation of access platform lift to front.	Grant Permission  10th March 2023
DC/22/67800  Great Barr With Yew Tree	44 Almond Avenue Walsall WS5 4JT	Proposed single storey side and rear extensions.	Grant Permission with external materials  10th March 2023
DC/22/67826  Greets Green & Lyng	129-131 Lodge Road West Bromwich B70 8PJ	Proposed change of use of two terraced residential properties to 4 self-contained flats with single storey rear extensions, external alterations and cycle parking, bin store and amenity space to rear garden	Grant Permission Subject to Conditions  10th March 2023
DC/23/67871  Wednesbury South	44 Chestnut Road Wednesbury WS10 0BJ	Proposed single storey side extension and porch to front.	Grant Permission with external materials  10th March 2023



Application No. Ward	Site Address	Description of Development	Decision and Date
DC/23/67872  Charlemont With Grove Vale	35 Bird End West Bromwich B71 3EA	Proposed single storey front extension.	Grant Permission with external materials  10th March 2023
DC/23/67880  Oldbury	Langley Maltings Western Road Oldbury B69 4LY	Continuation of use of car dealership, car wash and car repair centre with new valet area with canopy, car photograph booth area and parking alterations - permanent consent.	Grant Permission Subject to Conditions  10th March 2023
DC/23/67883  West Bromwich Central	129 High Street West Bromwich B70 6NY	Proposed first floor rear extension and replacement roof with dormer to rear to create 4 No. 1 bed flats.	Grant Permission Subject to Conditions  10th March 2023
DC/23/67881  Cradley Heath & Old Hill	47 Lodgefield Road Halesowen B62 8AT	Proposed single storey rear extension.	Grant Permission Subject to Conditions  10th March 2023
DC/23/67891  Blackheath	79 Summer Road Rowley Regis B65 9QH	Proposed single storey rear extension.	Grant Permission with external materials  10th March 2023

Application No. Ward	Site Address	Description of Development	Decision and Date
DC/23/67896 West Bromwich Central	361 High Street West Bromwich B70 9QG	Proposed two storey rear extension to provide additional restaurant space, store room and covered external space at ground floor and 3 no. studio flats at first floor.	Grant Permission Subject to Conditions  10th March 2023
DC/23/67902 St Pauls	1-7 Crystal Drive Smethwick B66 1QG	Proposed change of use from Use Class B8 (Storage/Distribution) to Use Class B2 (General Industrial).	Grant Permission Subject to Conditions  10th March 2023
PD/23/02314 St Pauls	18A Parkrose Industrial Estate Middlemore Road Smethwick B66 2DZ	Proposed 252 No. x JA 385W Solar Panels on existing factory roof with 1 No. Solis 100kw Inverter, 1 No. Renisol mounting system and 1 No. Elster A100-C Generation meter.	P D Solar Panels not required  10th March 2023
DC/23/67941 Greets Green & Lyng	197 Oak Road West Bromwich B70 8HW	Proposed change of use of ground floor rear and first floor from dwelling house (Class C3) to HMO (Class C4) (Lawful Development Certificate).	Grant Lawful Use Certificate  10th March 2023
DC/23/67950 Bristnall	58 Pryor Road Oldbury B68 9QJ	Proposed single storey rear extension and raised pathway with retaining wall and steps to rear garden.	Grant Permission with external materials  10th March 2023
PD/23/02327 Langley	20 Kestrel Road Oldbury B68 8AS	Proposed single storey rear extension measuring: 6.00m L x 3.00m H (3.00m to eaves)	P D Householder not required  10th March 2023

Application No. Ward	Site Address	Description of Development	Decision and Date
DC/23/67963 Bristnall	138 Bristnall Hall Road Oldbury B68 9TX	Proposed single storey rear extension (Lawful Development Certificate).	Grant Lawful Use Certificate  13th March 2023
DC/22/67807 Old Warley	McDonald's 6 Wolverhampton Road Oldbury B68 0LH	Proposed single storey front/side/rear extensions with fenestration alterations, new shop front, ramp/handrails, external cladding, new 2.4m high enclosed remote corral to include container, bins and cages, reconfiguration of grill parking bays, landscaping and associated works.	Grant Permission with external materials  15th March 2023
DC/23/67840 Soho & Victoria	2 Tomblin Drive Smethwick B66 4TE	Proposed loft conversion and 3 No. front dormer windows.	Grant Permission with external materials  15th March 2023
DC/23/67853 Newton	105 Walcot Drive Great Barr Birmingham B43 5TH	Proposal single and two storey rear extension and single storey side extension.	Grant Permission with external materials  15th March 2023
DC/23/67879 West Bromwich Central	85 Roebuck Lane West Bromwich B70 6QX	Proposed single storey rear extension, dropped kerb to front drive and single storey detached garage at rear.	Grant Permission Subject to Conditions  15th March 2023

Application No. Ward	Site Address	Description of Development	Decision and Date
DC/23/67889 Friar Park	187 Crankhall Lane Wednesbury WS10 0EE	Retention of nail salon in garden shed.	Refuse permission  15th March 2023
DC/23/67942 Greets Green & Lyng	97 Clifford Road West Bromwich B70 8JT	Proposed rendering and insulation to front of the house only.	Grant Permission  15th March 2023
PD/23/02321 Tipton Green	12 Richmond Aston Drive Tipton DY4 8GD	Proposed single storey rear extension measuring: 6.00m L x 4.00m H (3.00m to eaves).	P D Householder required and granted  15th March 2023
PD/23/02322 Wednesbury South	85 Ebenezer Street West Bromwich B70 0JB	Proposed single storey rear extension measuring: 6.50m L x 3.20m H (3.00m to eaves)	P D Householder not required  15th March 2023
PD/23/02325 St Pauls	91 Middlemore Road Smethwick B66 2DT	Proposed single storey rear extension measuring: 6.00m L x 3.9m H (2.8m to eaves).	P D Householder not required  15th March 2023
DC/23/67975 Langley	42 Pool Lane Oldbury B69 4QX	Proposed change of use from dwelling to residential home for 4 No. young people aged between 8-18 years old.	Refuse permission  15th March 2023
PD/23/02330 Newton	34 Hembs Crescent Great Barr Birmingham B43 5DQ	Proposed single storey rear extension measuring: 4.5m L x 3.3m H (3.0m to eaves)	P D Householder not required  15th March 2023

Application No. Ward	Site Address	Description of Development	Decision and Date
DC/22/66552 Wednesbury South	Land At Units 1 And 2 Cliff Drive Tipton DY4 0PZ	Proposed 1 no. Industrial and Logistics unit (Outline application for layout and access).	Grant Outline Permission with Conditions  17th March 2023
DC/22/67775 West Bromwich Central	25 Bassett Crescent West Bromwich B71 4DU	Proposed single storey rear/side extension (Lawful Development Certificate).	Refuse Lawful Use Certificate  17th March 2023
DC/22/67781 Hateley Heath	The Phoenix Collegiate Clarkes Lane West Bromwich B71 2BX	Retention of part of field for school recreational use and 2.4m high galvanized fencing.	Grant Conditional Retrospective Consent  17th March 2023
DC/22/67805 Wednesbury South	43 Woden Road South Wednesbury WS10 0BS	Proposed two storey side extension and single storey rear extension with roof lights.	Grant Permission with external materials  17th March 2023
DC/22/67818 St Pauls	Warehouses A And C Former Chances Glassworks Palace Drive Smethwick B66 1NZ	Proposed repairs to stabilise Building A, to include ties to walls, erect scaffold support to roof trusses, repairs to walls, eaves, rwg, repairs to rotten roof timbers, repair replace broken missing slates, ridge and hip tiles. Dismantle unstable section of wall to tow path elevation to make safe building C.	Grant Permission Subject to Conditions  17th March 2023

Application No. Ward	Site Address	Description of Development	Decision and Date
DC/22/67819  St Pauls	Warehouses A And C Former Chances Glassworks Palace Drive Smethwick B66 1NZ	Proposed repairs to stabilise Building A, to include ties to walls, erect scaffold support to roof trusses, repairs to walls, eaves, rwg, repairs to rotten roof timbers, repair replace broken missing slates, ridge and hip tiles. Dismantle unstable section of wall to tow path elevation to make safe building C (listed building consent).	Grant Conditional Listed Building Consent  17th March 2023
DC/23/67855  West Bromwich Central	Bridgwater Filters Limited Thomas Street West Bromwich	Proposed change of use to Banqueting hall and mezzanine floor.	Refuse permission  17th March 2023
DC/23/67890  Tipton Green	26 Wood Street Tipton DY4 9BQ	Proposed single storey detached summer house at rear.	Refuse permission  17th March 2023
DC/23/67898  West Bromwich Central	127 Church Vale West Bromwich B71 4DR	Proposed single storey rear/side extension.	Grant Permission with external materials  17th March 2023
DC/23/67916  Charlemont With Grove Vale	55 Hollyhedge Road West Bromwich B71 3BS	Demolition of existing dwelling and proposed new dwelling and detached garage with associated parking.	Grant Permission Subject to Conditions  17th March 2023

Application No. Ward	Site Address	Description of Development	Decision and Date
PD/23/02326  Charlemont With Grove Vale	24 Bustleholme Lane West Bromwich B71 3AP	Proposed single storey rear extension measuring: 6.00m L x 4.00m H (2.95m to eaves)	P D Householder required and refused  17th March 2023
DC/23/67978  Old Warley	Telecommunications Mast 52522 160 Bleakhouse Road Oldbury	Proposed replacement of existing spine structure to telecommunications mast to increase antenna height, 1 No. new cabinet and associated ancillary works.	Grant Permission  17th March 2023
DC/23/67987  Rowley	74 Harvest Road Rowley Regis B65 8EH	Proposed single and two storey side & rear extension, single storey front extension with porch, and detached outbuilding to rear.	Grant Permission with external materials  17th March 2023
DC/23/67990  St Pauls	55 Devonshire Road Smethwick B67 7QG	Proposed single storey rear extension and raised decking.	Grant Permission Subject to Conditions  17th March 2023
DC/23/67900  Blackheath	61 Sherbourne Road Cradley Heath B64 7PX	Retention of shed in rear garden (Revision to refused planning permission DC/22/67433).	Grant Conditional Retrospective Consent  20th March 2023
DC/23/67907  Langley	51 Woodnorton Road Rowley Regis B65 0QZ	Proposed loft conversion with rear dormer (Lawful Development Certificate).	Refuse Lawful Use Certificate  20th March 2023

Application No. Ward	Site Address	Description of Development	Decision and Date
DC/23/67909 Princes End	54 Catherton Close Tipton DY4 0DQ	Proposed two storey side extension, and single storey front extension with porch.	Grant Permission with external materials  20th March 2023
DC/23/67913 Abbey	560 Bearwood Road Smethwick B66 4BS	Proposed additional ancillary sui generis takeaway to existing Class E restaurant, extraction canopy to rear and external alterations (3 No. existing windows to be reopened on Sherwood Road elevation).	Grant Permission Subject to Conditions  20th March 2023
DC/23/6835A Abbey	560 Bearwood Road Smethwick B66 4BS	Proposed 2 No. internally illuminated fascia signs and 1 No. internally illuminated hanging window sign.	Grant Advertisement Consent  20th March 2023
DC/22/67789 Soho & Victoria	49 Claremont Road Smethwick B66 4JY	Retention of loft conversion and rear dormer. (ENF/21/11618)	Grant Retrospective Permission  27th March 2023
DC/23/67926 Wednesbury North	12 Franchise Street Wednesbury WS10 9RE	Proposed two storey side/rear extension with fenestration alterations.	Grant Permission with external materials  27th March 2023



Application No. Ward	Site Address	Description of Development	Decision and Date
DC/23/6837A  Wednesbury North	Kentucky Fried Chicken Axletree Way Wednesbury WS10 9QY	Proposed 6 No. internally-illuminated fascia signs, 6 No. vinyl graphic signs, internally illuminated and non- illuminated freestanding directional signs, and internally illuminated display/menu screens.	Grant Advertisement Consent  27th March 2023
DC/22/67732  Great Bridge	104 Arthur Road Tipton DY4 0NW	Retention of ancillary garden building.	Grant Conditional Retrospective Consent  29th March 2023
DC/22/67792  West Bromwich Central	Metro House 410 High Street West Bromwich	Proposed four storey apartment block to form 17 No. apartments.	Grant Permission Subject to Conditions  29th March 2023
DC/23/67888  West Bromwich Central	38 Dagger Lane West Bromwich B71 4BE	Proposed use of property as a residential children's home for up to three children with up to five non-resident staff (Class C2) (Lawful Development Certificate).	Grant Lawful Use Certificate  29th March 2023

Application No. Ward	Site Address	Description of Development	Decision and Date
DC/23/67928 Abbey	36 Woodbourne Road Smethwick B67 5LY	Proposed first floor side and single storey rear extensions, raising of existing garage roof height with part conversion into habitable room, front porch, retaining rear garden wall with raised patio, steps and balustrades (Revision to approved planning permission DC/22/67270).	Grant Permission with external materials  29th March 2023
DC/23/67931 Great Barr With Yew Tree	4 Pages Lane Great Barr Birmingham B43 6LL	Proposed single storey rear/side extension, loft extension with dormer to rear, raise existing flat roofs, front bay window, porch to front and garage conversion.	Grant Permission with external materials  29th March 2023
DC/23/67979 Hateley Heath	Salisbury House Lily Street West Bromwich B71 1QD	Proposed conversion of former electric meter room to create a 1 bedroom/1 person bedsit.	Grant Permission  29th March 2023
PD/23/02336 Rowley	148 Hanover Road Rowley Regis B65 9EJ	Proposed single storey rear extension measuring: 3.70m L x 3.00m H (3.00m to eaves)	P D Householder not required  29th March 2023
PD/23/02342 Newton	34 Hembs Crescent Great Barr Birmingham B43 5DQ	Proposed single storey rear extension measuring: 5.0m L x 3.3m H (3.0m to eaves)	P D Householder not required  29th March 2023

Application No. Ward	Site Address	Description of Development	Decision and Date
DC/22/67816 Bristnall	Bristnall Hall Academy Bristnall Hall Lane Oldbury B68 9PA	Proposed installation of 8 No. solar panel car charging canopies on 2 No. existing school car parks.	Grant Permission Subject to Conditions  31st March 2023
DC/23/67867 Wednesbury South	58 - 59 Lower High Street Wednesbury WS10 7AL	Proposed new shop front, and conversion of first floor into 2 no. studio flats and 1 no. 1 bedroom flat with external alterations.	Grant Permission Subject to Conditions  31st March 2023
DC/23/67884 Oldbury	6 Wynn-Griffith Drive Tipton DY4 7XU	Proposed single storey rear extension, removal and replacement of existing pitched garage roof, and access ramp with handrails to front.	Grant Permission with external materials  31st March 2023
DC/23/67927 Wednesbury South	52 Willingsworth Road Wednesbury WS10 7NJ	Retention of guest house.	Grant Retrospective Permission  31st March 2023
DC/23/67940 Wednesbury South	48 Meyrick Road West Bromwich B70 0JL	Proposed first floor side and rear extension.	Grant Permission with external materials  31st March 2023
DC/23/67946 Wednesbury South	41 Bagnall Street Ocker Hill Tipton DY4 0EH	Proposed single storey rear extension, single storey side garage, and first floor side extension.	Grant Permission with external materials  31st March 2023

Application No. Ward	Site Address	Description of Development	Decision and Date
DC/23/67956 Abbey	14 Park Road Smethwick B67 5HS	Proposed two/single storey rear and first floor side extensions.	Grant Permission Subject to Conditions  31st March 2023
DC/23/67965 Smethwick	18 Douglas Road Oldbury B68 9ST	Proposed single storey rear extension, hip to gable roof enlargement, loft conversion and rear dormer window (Lawful Development Certificate).	Grant Lawful Use Certificate  31st March 2023
DC/23/67968 Bristnall	62 Albright Road Oldbury B68 9NH	Proposed single storey side and rear extension.	Grant Permission Subject to Conditions  31st March 2023
PD/23/02332 Hateley Heath	115 Bedford Road West Bromwich B71 2RT	Proposed single storey rear extension measuring: 5.00m L x 3.42m H (2.83m to eaves).	P D Householder not required  31st March 2023
DC/22/67779 Hateley Heath	Buse UK Limited Johnsons Bridge Road West Bromwich B71 1DG	Proposed erection of new hydrogen generation system and associated acoustic fences.	Grant Permission Subject to Conditions  3rd April 2023
DC/23/67921 Soho & Victoria	Flat 8 Cape Hill Smethwick B66 4RN	Retention of 1 No. additional self-contained flat to second floor with rear dormer window.	Grant Permission Subject to Conditions  3rd April 2023

Application No. Ward	Site Address	Description of Development	Decision and Date
DC/23/67955 Oldbury	Units 4 And 5 Oldbury Green Retail Park Oldbury Ringway Oldbury B69 3DD	Proposed amalgamation of units 4 and 5 with single storey rear extension, external alterations to rear and new glazed shop frontages.	Grant Permission Subject to Conditions  3rd April 2023
DC/23/68004 Langley	45 Parkfield Road Oldbury B68 8PS	Proposed single storey rear extension.	Grant Permission with external materials  3rd April 2023
PD/23/02333 Cradley Heath & Old Hill	10 High Haden Road Cradley Heath B64 7PG	Proposed single storey rear extension measuring: 4.00m L x 3.00m H (3.00m to eaves)	P D Householder not required  3rd April 2023
PD/23/02337 St Pauls	138 Great Arthur Street Smethwick B66 1DG	Proposed single storey rear extension measuring: 4.90m L x 2.80m H (2.80m to eaves)	P D Householder not required  3rd April 2023
PD/23/02340 Smethwick	47 Shakespeare Road Smethwick B67 7HS	Proposed single storey rear extension measuring: 6.0m L x 3.0m H (2.3m to eaves)	P D Householder not required  3rd April 2023
DC/23/67920 Soho & Victoria	Flat 75 Cape Hill Smethwick B66 4SG	Proposed reconfiguration of 1 No. existing flat to create 2 No. self- contained flats at first/second floor with new rear dormer window.	Grant Permission Subject to Conditions  5th April 2023

Application No. Ward	Site Address	Description of Development	Decision and Date
DC/23/67938  Abbey	616 Bearwood Road Smethwick B66 4BW	Pursuant to planning permissions DC/20/64484 and DC/22/66692, proposed two-storey rear extension to accommodate an additional two bedsits with bicycle parking facilities, refuse and recycling storage and external staircases to rear.	Grant Permission Subject to Conditions  5th April 2023
DC/23/67951  Greets Green & Lyng	27 Whyley Street West Bromwich B70 9LX	Proposed first floor extension above existing garage.	Grant Permission with external materials  5th April 2023
DC/23/67959  Wednesbury South	61 Winchester Road West Bromwich B71 2NY	Proposed single storey rear extension, and single and two storey side extension.	Grant Permission with external materials  5th April 2023
DC/23/67961  West Bromwich Central	82 The Pavilions West Bromwich B70 6BA	Proposed single storey side and rear extension, and loft conversion with dormer to rear.	Grant Permission Subject to Conditions  5th April 2023
DC/23/67964  Tipton Green	10 Devine Croft Tipton DY4 8XJ	Proposed single storey rear extension, porch to front and garage conversion.	Grant Permission with external materials  5th April 2023

Application No. Ward	Site Address	Description of Development	Decision and Date
DC/23/67974 Oldbury	Unit 8 Oldbury Green Retail Park Oldbury Ringway Oldbury B69 3DD	Proposed subdivision of unit into 2 No. retail units with new shop frontages, external alterations and widening of access gate to rear.	Grant Permission  5th April 2023
DC/23/68013 Oldbury	Land Adj To 7 Charlotte Close Oldbury B69 2LZ	Proposed new detached dwelling (Revision to approved planning permission DC/19/63176).	Grant Permission Subject to Conditions  5th April 2023
PD/23/02335 Hateley Heath	117 Huntingdon Road West Bromwich B71 2RP	Proposed single storey rear extension measuring: 5.00m L x 3.00m H (2.70m to eaves)	P D Householder not required  5th April 2023
PD/23/02334 Charlemont With Grove Vale	89 Rayford Drive West Bromwich B71 3QW	Proposed single storey rear extension measuring: 4.00m L x 3.00m H (3.00m to eaves).	P D Householder not required  5th April 2023
DC/23/68024 Oldbury	1 Regent Place Tividale Oldbury B69 2LP	Proposed two and single storey side extension.	Grant Permission with external materials  5th April 2023
DC/23/68028 St Pauls	6 West Park Road Smethwick B67 7JJ	Proposed single storey side/rear extension.	Grant Permission with external materials  5th April 2023

Application No. Ward	Site Address	Description of Development	Decision and Date
PD/23/02338 Charlemont With Grove Vale	68 Stanley Road West Bromwich B71 3JG	Proposed single storey rear extension measuring: 4.85m L x 3.95m H (2.65m to eaves)	P D Householder not required  5th April 2023
PD/23/02356 Hateley Heath	72 Vicarage Road West Bromwich B71 1AG	Proposed single storey rear extension measuring: 6.0m L x 3.0m H (3.0m to eaves).	P D Householder not required  5th April 2023
DC/23/68020 Great Barr With Yew Tree	5 Laburnum Road Walsall WS5 4DU	Proposed two storey side/rear extension and single storey rear extension.	Refuse permission  6th April 2023
DC/23/67969 Hateley Heath	39 Beaconsfield Street West Bromwich B71 1PU	Proposed ramped access to front of property with handrails.	Grant Permission  6th April 2023
DC/23/67973 Hateley Heath	20 Drake Street West Bromwich B71 1PA	Proposed ramped access with railings to front and side.	Grant Permission  6th April 2023
PD/23/02343 St Pauls	146 Great Arthur Street Smethwick B66 1DG	Proposed single storey rear extension measuring: 6.00m L x 3.15m H (3.00m to eaves)	P D Householder not required  6th April 2023
DC/22/67688 Old Warley	57 Broadway Oldbury B68 9DP	Proposed first floor rear extension, hip to gable roof extension with loft conversion and rear dormer window.	Grant Permission with external materials  12th April 2023



Application No. Ward	Site Address	Description of Development	Decision and Date
DC/22/67733 Wednesbury South	20 Holden Road Wednesbury WS10 0DB	Proposed single storey rear extension and conversion to two apartments.	Grant Permission Subject to Conditions  12th April 2023
DC/23/67960 Oldbury	Land At Tat Bank Road Oldbury B69 4NH	Proposed creation of a concrete hard standing for HGV parking.	Grant Permission Subject to Conditions  12th April 2023
DC/23/67981 Soho & Victoria	35 Arthur Harris Close Smethwick B66 4NX	Proposed garage conversion into habitable room.	Grant Permission Subject to Conditions  12th April 2023
DC/23/67986 Great Barr With Yew Tree	10 Scott Road Great Barr Birmingham B43 6JT	Demolition of existing rear conservatory, and proposed single storey side and rear extension.	Grant Permission with external materials  12th April 2023
DC/23/67989 Abbey	33 Linden Road Smethwick B66 4DZ	Retention of single storey rear/side extension (previously refused application DC/22/67120).	Grant Retrospective Permission  12th April 2023
DC/23/67991 Oldbury	Land At Balaji Avenue Oldbury	Proposed 4 no. 3 bed semi detached dwellings.	Grant Permission Subject to Conditions  12th April 2023

Application No. Ward	Site Address	Description of Development	Decision and Date
DC/23/67993 Great Barr With Yew Tree	62 Thorncroft Way Walsall WS5 4EF	Proposed level access platform ramp with retaining walls and handrails to front.	Grant Permission  12th April 2023
PD/23/02341 Rowley	93 Park Avenue Rowley Regis B65 9ET	Proposed single storey rear extension measuring: 4.50m L x 4.00m H (3.00m to eaves)	P D Householder required and granted  12th April 2023
PD/23/02345 Rowley	18 Hickmans Avenue Cradley Heath B64 5ND	Proposed single storey rear extension measuring: 8.00m L x 3.30m H (3.00m to eaves)	P D Householder required and granted  12th April 2023
DC/23/68057 Bristnall	60 Eva Road Oldbury B68 9PJ	Proposed single storey rear/side extension, ramp access with handrail to front, retaining wall and new gate/fence to side.	Grant Permission with external materials  12th April 2023
DC/23/68062 Old Warley	157 Brennand Road Oldbury B68 0SH	Proposed level access platform, ramp, retaining wall, steps and handrails to front of property.	Grant Permission  12th April 2023
DC/23/68064 Oldbury	44 Albion Street Oldbury B69 3EY	Proposed porch, level access platform and ramp, handrails and boundary wall to front of property.	Grant Permission with external materials  12th April 2023
DC/22/67777 Soho & Victoria	6 Grange Road Smethwick B66 4NH	Retention of detached dwelling in rear garden (Lawful Development Certificate).	Refuse Lawful Use Certificate  14th April 2023

Application No. Ward	Site Address	Description of Development	Decision and Date
DC/23/67865 Greets Green & Lyng	1 Storage King Business Park Great Bridge Street West Bromwich B70 0XA	Proposed change of use from Sui Generis to storage/distribution (use class B8) for use as a self storage facility, with external alterations to form reception area and alterations to car park layout.	Grant Permission Subject to Conditions  14th April 2023
DC/23/67937 Oldbury	Land Adjacent To 27 Hopkins Street Tipton	Proposed 2 No. 2 bedroom residential dwellings.	Grant Permission Subject to Conditions  14th April 2023
DC/23/67948 Newton	1 Garston Way Great Barr Birmingham B43 5JT	Retention of front drive.	Grant Conditional Retrospective Consent  14th April 2023
DC/23/6836A St Pauls	4 West Cross Shopping Centre Oldbury Road Smethwick B66 1JG	Proposed 3 No. internally-illuminated fascia signs, 1 No. fascia sign and 2 No. freestanding signs.	Grant Advertisement Consent  14th April 2023
DC/23/67977 Princes End	18 Bolton Rise Tipton DY4 0WE	Proposed detached granny annexe to rear.	Grant Permission Subject to Conditions  14th April 2023
DC/23/67994 Wednesbury North	10 Alder Road Wednesbury WS10 9PX	Demolition of existing conservatory and proposed single storey rear extension.	Grant Permission with external materials  14th April 2023

Application No. Ward	Site Address	Description of Development	Decision and Date
DC/23/68008 Old Warley	85 Brennand Road Oldbury B68 0SU	Retention of raising of ground levels creating driveway with railings to front of property.	Grant Retrospective Permission  14th April 2023
DC/23/68009 Newton	64 Newton Road Great Barr Birmingham B43 6BW	Proposed single and two storey rear extension to rear.	Grant Permission with external materials  14th April 2023
DC/23/68011 Old Warley	34 Maypole Road Oldbury B68 0HL	Proposed single storey rear and side extension.	Grant Permission with external materials  14th April 2023
DC/23/68016 Friar Park	44 Friar Park Road Wednesbury WS10 0TB	Proposed ramped access to front.	Grant Permission  14th April 2023
DC/23/68019 Blackheath	52 Causeway Rowley Regis B65 8AA	Proposed loft conversion with dormer window to rear.	Grant Permission with external materials  14th April 2023
DC/23/68021 West Bromwich Central	Town Hall High Street West Bromwich B70 8DY	Proposed new entrance lobby and access ramp, platform lift with steps to front and replacement of window with door to rear.	Grant Permission Subject to Conditions  14th April 2023

Application No. Ward	Site Address	Description of Development	Decision and Date
DC/23/68022 West Bromwich Central	Town Hall High Street West Bromwich B70 8DY	Proposed new entrance lobby and access ramp, platform lift with steps to front, new WC adjacent new reception, new changing places WC, replacement of window with door to rear and internal alterations.	Grant Conditional Listed Building Consent  14th April 2023
PD/23/02347 Hateley Heath	3 Drake Street West Bromwich B71 1PA	Proposed single storey rear extension measuring: 4.0m L x 3.0m H (2.7m to eaves).	P D Householder not required  14th April 2023
PD/23/02348 Wednesbury North	10 Old Park Road Wednesbury WS10 9LU	Proposed single storey rear extension measuring: 4.00m L x 2.80m H (2.80m to eaves).	P D Householder not required  14th April 2023
PD/23/02350 Hateley Heath	5 Drake Street West Bromwich B71 1PA	Proposed single storey rear extension measuring: 4.7m L x 4.0m H (2.7m to eaves).	P D Householder not required  14th April 2023
PD/23/02351 Great Bridge	12 Whitehall Road West Bromwich B70 0EW	Proposed single storey rear extension measuring: 4.00m L x 4.00m H (2.50m to eaves)	P D Householder not required  14th April 2023
DC/23/68071 Langley	Pool Cottage 121 Pool Lane Oldbury B69 4QS	Proposed single storey and first floor side extension with front and rear dormers.	Grant Permission with external materials  14th April 2023

Application No. Ward	Site Address	Description of Development	Decision and Date
DC/23/6841A West Bromwich Central	JCDecaux Adj 151 Bull Street West Bromwich Ringway West Bromwich	Proposed static sequential advertisement sign.	Grant Conditional Advertisement Consent  14th April 2023
DC/23/68075 Smethwick	145 Londonderry Lane Smethwick B67 7EL	Proposed outbuilding in rear garden.	Grant Permission with external materials  14th April 2023
DC/23/67985 Hateley Heath	1 Law Street West Bromwich B71 1DY	Proposed single storey rear and side extension, and change of use of ground floor from shop to residential unit with external alterations.	Grant Permission Subject to Conditions  17th April 2023
DC/23/68001 Charlemont With Grove Vale	12 Arlington Road West Bromwich B71 1AA	Proposed two storey side and rear and single storey rear extensions.	Grant Permission with external materials  17th April 2023
DC/23/68027 Bristnall	95 Warley Road Oldbury B68 9SY	Proposed two/single storey rear and single storey front extensions.	Grant Permission with external materials  17th April 2023
DC/23/68044 Rowley	3 Wadham Close Rowley Regis B65 9SH	Proposed single storey front and side extension.	Grant Permission with external materials  17th April 2023

Application No. Ward	Site Address	Description of Development	Decision and Date
DC/23/68045 Rowley	3 Wadham Close Rowley Regis B65 9SH	Proposed single storey rear extension (Lawful development certificate).	Refuse Lawful Use Certificate  17th April 2023
PD/23/02353 Smethwick	145 Londonderry Lane Smethwick B67 7EL	Proposed single storey rear extension measuring: 4.50m L x 3.90m H (2.90m to eaves).	P D Householder not required  17th April 2023
PD/23/02355 Newton	17 Lechlade Road Great Barr Birmingham B43 5ND	Proposed single storey rear extension measuring: 5.00m L x 2.70m H (2.50m to eaves).	P D Householder not required  17th April 2023
DC/23/67997 Wednesbury North	70 Park Lane Wednesbury WS10 9PT	Proposed single storey rear, side and front extensions.	Grant Permission Subject to Conditions  19th April 2023
DC/23/68002 Friar Park	58 Crankhall Lane Wednesbury WS10 0EQ	Proposed single and two storey side and rear extension, and single storey front extension with porch.	Grant Permission with external materials  19th April 2023
DC/23/6838A Tividale	190 Regent Road Oldbury B69 1SB	Proposed 2 no. internally-illuminated fascia signs, digitally printed window graphics, re-clad existing totem framework & 4 no. forecourt flat panels.	Grant Advertisement Consent  19th April 2023

Application No. Ward	Site Address	Description of Development	Decision and Date
DC/23/68025 Blackheath	2 High Street Rowley Regis B65 0DT	Proposed single storey side/rear extension and roller shutter to side of property.	Grant Permission with external materials  19th April 2023
DC/23/68073 Great Barr With Yew Tree	Land At Walsall Road Walsall	Proposed creation of highway access and associated highway works.	Grant Permission  19th April 2023
DC/22/67644 Princes End	99 Moat Road Tipton DY4 9PR	Proposed two storey dwelling.	Grant Permission Subject to Conditions  21st April 2023
DC/23/67995 Charlemont With Grove Vale	27 Monksfield Avenue Great Barr Birmingham B43 6AP	Retention of single and two storey rear/side extension and raising of ground levels to include wall and steps to rear.	Grant Permission with external materials  21st April 2023
DC/23/68015 Princes End	115 Richards Road Tipton DY4 9LU	Demolition of existing garage and proposed two storey side extension.	Grant Permission with external materials  21st April 2023
DC/23/68026 Cradley Heath & Old Hill	76 Barrs Road Cradley Heath B64 7HH	Proposed loft conversion with hip to gable roof extension and rear dormer window (Lawful Development Certificate).	Grant Lawful Use Certificate  21st April 2023



Application No. Ward	Site Address	Description of Development	Decision and Date
DC/23/68031  Charlemont With Grove Vale	58 Walsall Road West Bromwich B71 3HL	Proposed roof extension and alterations, loft conversion and rear dormer window. (Revision to refused planning permission DC/22/67769).	Grant Permission with external materials  21st April 2023
DC/23/68033  Charlemont With Grove Vale	60 Walsall Road West Bromwich B71 3HL	Proposed roof extension and alterations, loft conversion and rear dormer window. (Revision to refused planning permission DC/22/67770).	Grant Permission with external materials  21st April 2023
DC/23/68032  Old Warley	40 Woodgreen Road Oldbury B68 0DF	Proposed replacement of existing conservatory with single-storey extension with internal alterations (Lawful Development Certificate).	Grant Lawful Use Certificate  21st April 2023
PD/23/02354  Newton	145 Jayshaw Avenue Great Barr Birmingham B43 5RX	Proposed single storey rear extension measuring: 6.00m L x 3.04m H (3.04m to eaves).	Permitted Development Refused  21st April 2023

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